

Information for File #2015-03360-MMJ; The Wealshire of Medina

Applicant: Wealshire, LLC

Corps Contact: Melissa Jenny

Address: 180 E. 5th Street, Ste. 700

E-Mail: melissa.m.jenny@usace.army.mil

Phone: (651) 290-5363

Primary County: Hennepin

Section, Township, Range: S. 3, T. 118 N., R. 23 W.

Information Complete On: 1/11/2016

Posting Expires On: 1/26/2016

Authorization Type

This application is being reviewed in accordance with current practices for documenting Corps jurisdiction under Section(s) 9 & 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act.

We have made a preliminary determination that the aquatic resources that would be impacted by the proposed project are subject to Corps of Engineers jurisdiction under Section(s) 9 & 10 of the Rivers and Harbors Act of 1899 and/or Section 404 of the Clean Water Act. If an approved jurisdictional determination is completed as part of the review process for this application, a copy will be posted on the St. Paul District web page at the following link: <http://www.mvp.usace.army.mil/Missions/Regulatory.aspx>.

Project

PROJECT DESCRIPTION AND PURPOSE:

The Wealshire of Medina development is a proposed 171,392 square-foot (at total build-out) one story, 150-resident memory care facility. Phase I of the project is proposed on the northern portion of the site and consists of a 115,000 square-foot building to house 84 residents and associated amenities. Phase II, also on the northern portion of the site, consists of an additional 56,000 square feet of residential living space to house 66 residents.

NAME, AREA AND TYPES OF WATERS (INCLUDING WETLANDS) SUBJECT TO LOSS:

The project as proposed would result in the discharge of fill material into 1.39 acres of wet meadow type wetland. Currently the project site includes an approximately 3.70-acre wetland basin located in the central portion of the property. The project as proposed would impact the farmed fringe wetland areas on the northern side of this basin, and would avoid impacting the higher quality vegetated portions within the existing wetland basin.

ALTERNATIVES CONSIDERED:

The applicant was unable to avoid wetland impacts on the property due to the following building footprint requirements: The facility requires 171,392 square feet of single-level building space, along with associated parking and outside recreational areas. In addition, code requires a fire access lane to encircle the facility to allow fire and emergency vehicle access to the entire facility. All of these required features make total wetland avoidance impossible.

The first alternative the applicant considered was to use the southern portion of the project site for the proposed site plan (see attached Concept A). However, this alternative was rejected because it would result in additional wetland impacts (3.25 acres) than the proposed preferred alternative (1.39 acres).

The second alternative considered is similar to the applicant's preferred alternative, located on the northern portion of the property, but the building alignment for Phase II would have a different configuration to allow more green space in and around the buildings (See attached Concept B). This alignment was rejected because it would result in additional wetland impacts (1.47 acres) than the proposed preferred alternative (1.39 acres).

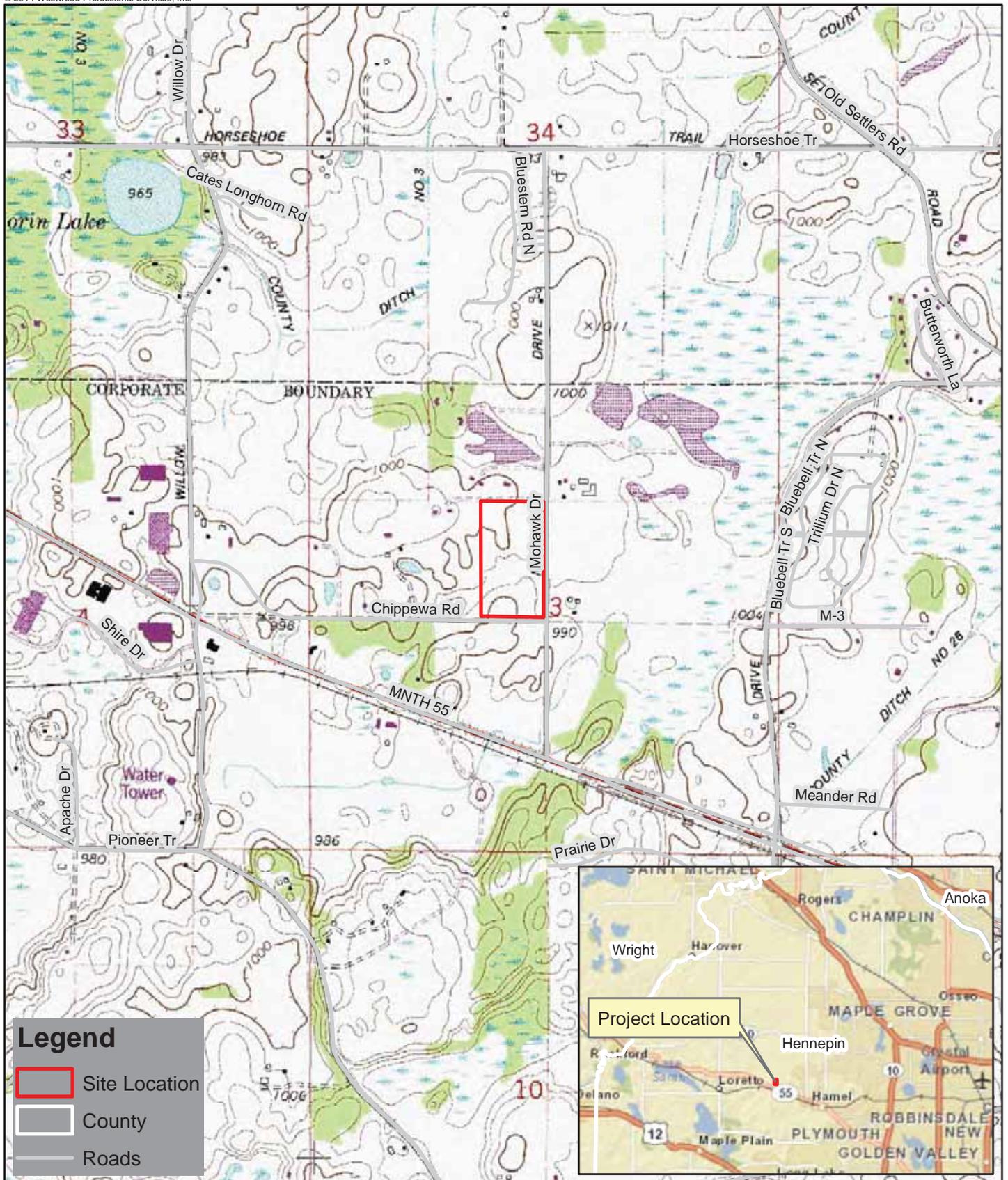
The third alternative considered involved additional building reconfiguration on the northern portion of the property (see attached Concept C). This building alignment was rejected because it again would result in additional wetland impacts (1.77 acres) than the proposed alternative (1.39 acres).

COMPENSATORY MITIGATION:

The applicant has proposed to compensate for unavoidable wetland impacts associated with this project, at a 2:1 ratio, via construction of an on-site wetland mitigation area that would generate a minimum of 2.78 wetland credits. The mitigation wetland will be created by excavating an upland area immediately adjacent to the existing onsite wetland. Hydrology would be provided to the site by routing pre-treated storm water from the developed areas on the property into the wetland area. In addition, an Agri-Drain water control structure would be installed on the east side of the wetland, where the wetland outlets under Mohawk Drive. This control structure would have an adjustable outlet that is planned to be set at an elevation of 987'. The existing 24-inch culvert outlet is in an excavated depression and is set at 983.81' with ground elevations around 986' in the area. The proposed 987' outlet elevation would allow for a more stable water level in the existing wetland and in the adjacent wetland mitigation area. Also, the proposed outlet elevation is low enough to prevent water from backing onto the upstream property to the west of the project site.

Drawings: See attached figures labeled as 2015-03360-MMJ, Posting figures 1-11.

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Legend

- Site Location
- County
- Roads

Data Source(s): MnDOT BaseMap Roads (2010), USDA-NRCS (2002), Westwood (2014).



Westwood Professional Services, Inc.
 7500 Anagram Drive
 Eden Prairie, MN 55344

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 FAX 952-937-5822
 TOLL FREE 1-800-937-5150
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Cavanaugh Property

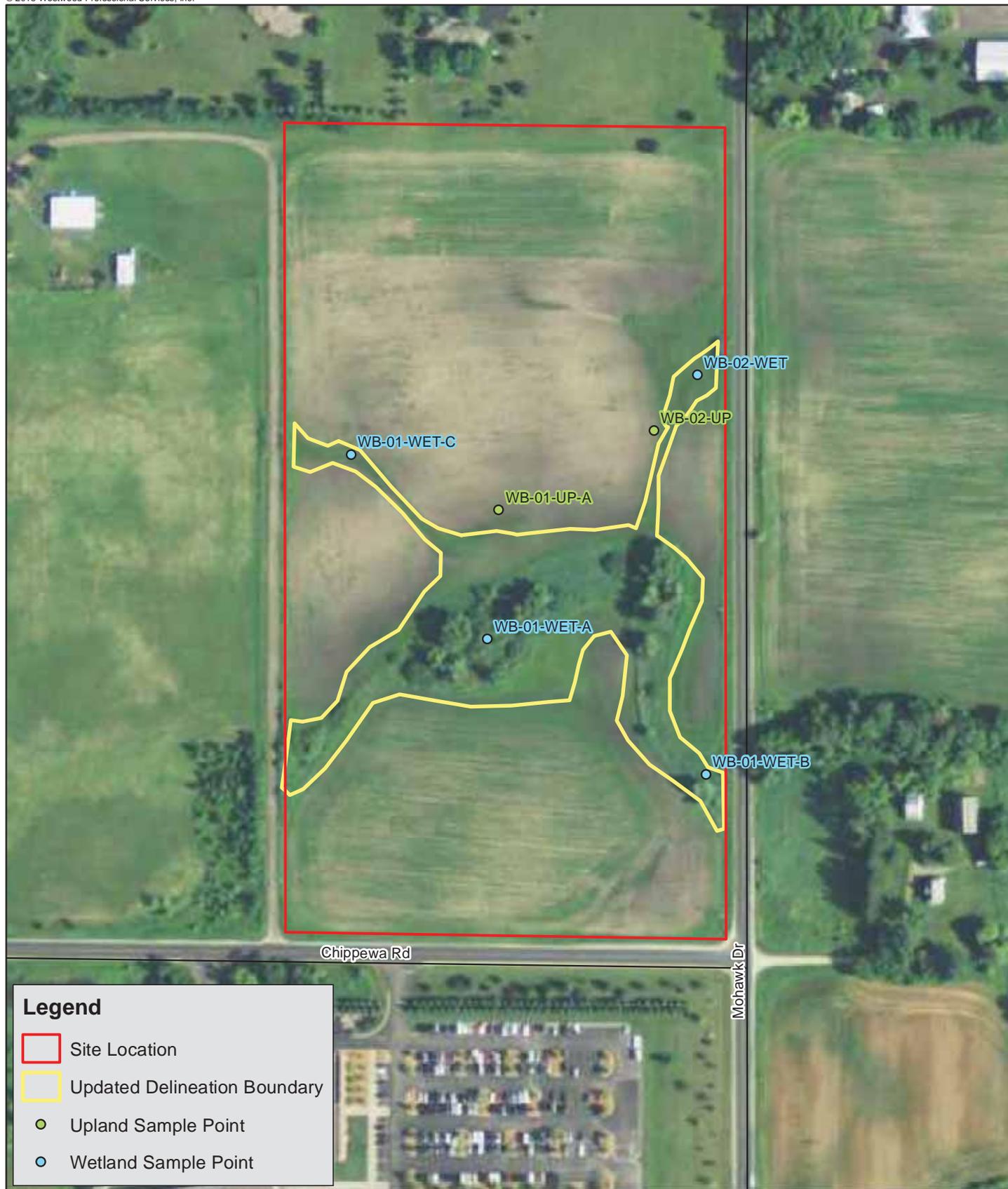
Medina, Minnesota

Site Location & USGS Topography

EXHIBIT 1

Map Document: P:\0004724\00\GIS\Cavanaugh_Loc_01A.mxd 11/17/2014 1:59:52 PM

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Legend

- Site Location
- Updated Delineation Boundary
- Upland Sample Point
- Wetland Sample Point

Data Source(s): MnGEO WMS (2012 color Twin Cities-Accessed November 2014), MnDOT BaseMap Roads (2010), Westwood (2014).

Cavanaugh Property

Medina, Minnesota

Updated Wetland Boundary



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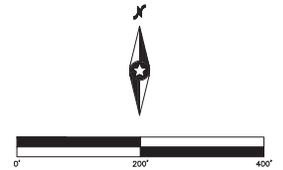
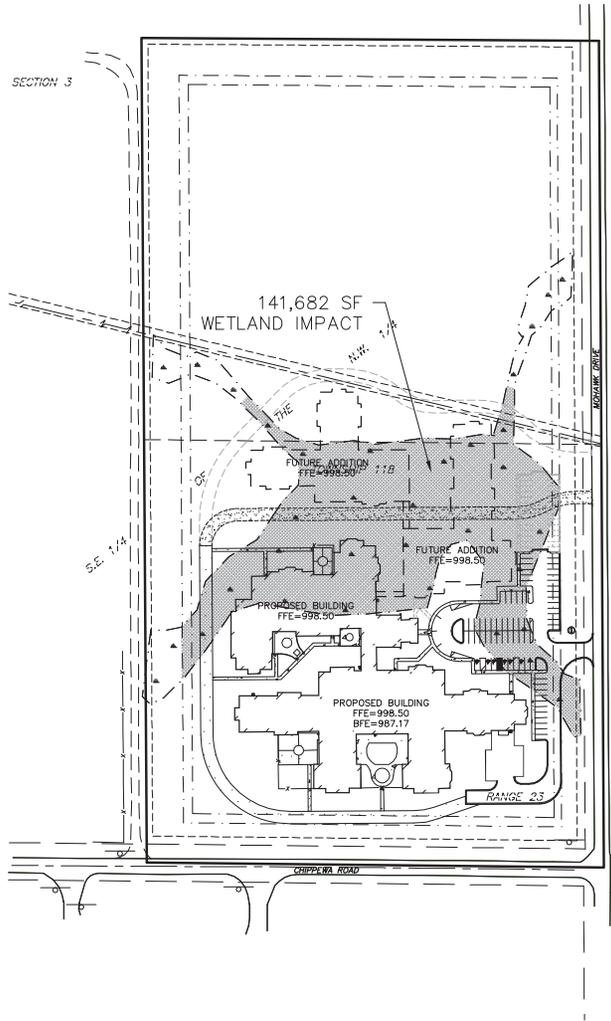
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Map Document: P:\0006120\00\GIS\Cavanaugh_Updated DelineationBoundary_150521.mxd 5/21/2015 2:43:25 PM

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Alternative A - 3.25 acres of wetland impact



Date: 12/04/15 Sheet: 1 OF 3
0004724SKF03.dwg

Designed: _____
 Checked: _____
 Drawn: _____
 Record Drawing by/date: _____

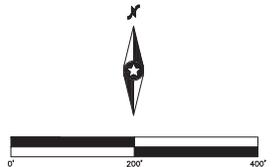
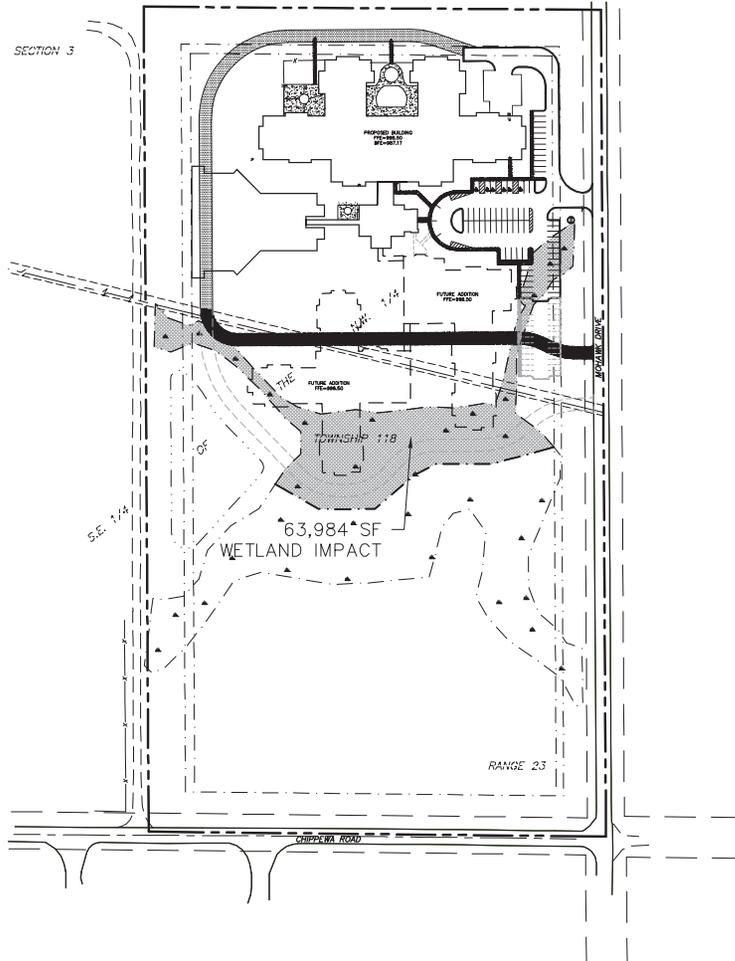
Prepared for:
Wealshire, LLC
 Bloomington, MN

**Wealshire
 of Medina**
 Medina, MN

Concept A
 Exhibit 3A

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Alternative B - 1.46 acres of wetland impact



Date: 12/04/15 Sheet: 2 OF 3
0004724SKF04.dwg

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 Checked: _____
 Drawn: _____
 Record Drawing by/date: _____

Prepared for:
Wealshire, LLC
 Bloomington, MN

**Wealshire
 of Medina**

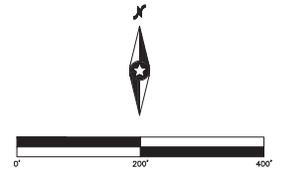
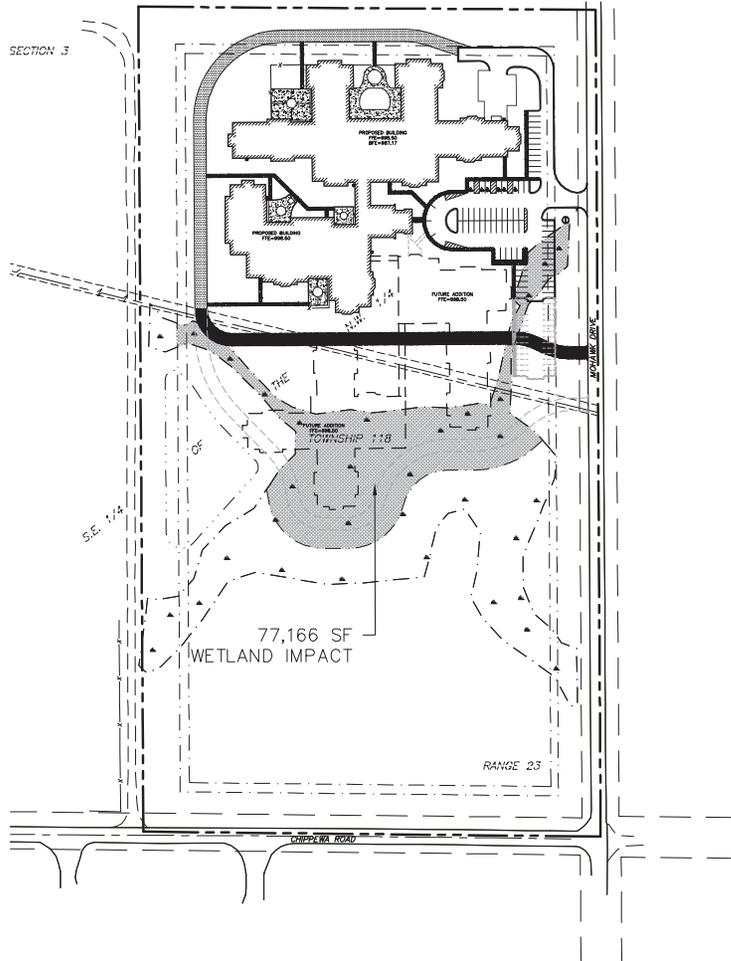
Medina, MN

Concept B

EXHIBIT 3B

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Alternative C - 1.77 acres of wetland impact



Date: 12/04/15 Sheet: 3 OF 3
0004724SKF05.dwg

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 Checked: _____
 Drawn: _____
 Record Drawing by/date: _____

Prepared for:
Wealshire, LLC
 Bloomington, MN

**Wealshire
 of Medina**
 Medina, MN

Concept C
 EXHIBIT 3C

Design	100
Check	100
Drawn	100
Revised Drawing by/Date	

Revisions

1/10/15 - Final Plan	

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

Robert J. Olson

Date: 10/30/15 License No. 40022

Prepared for

Wealshire, LLC

2601 Lyndale Avenue South
 Bloomington, MN

Wealshire of Medina
 Medina, MN

Site Plan - Phase 1

Date: 10/30/15
 Sheet: 4 of 17
 00047248P02.dwg

Site Legend

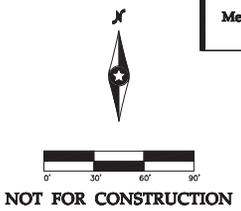
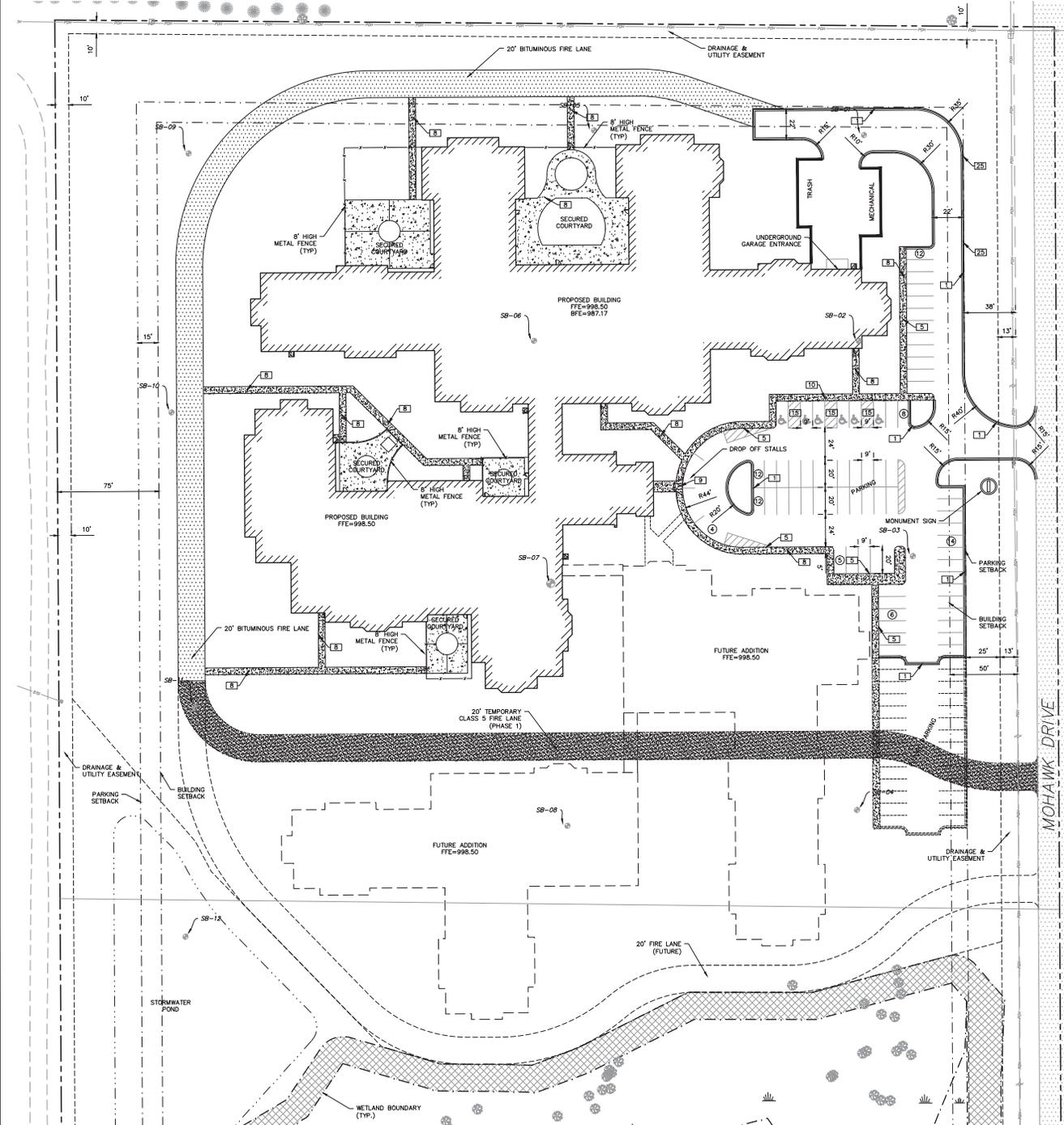
EXISTING	PROPOSED	FUTURE	
---	---	---	PROPERTY LINE
---	---	---	LOT LINE
---	---	---	SETBACK LINE
---	---	---	EASEMENT LINE
---	---	---	CURB AND GUTTER
---	---	---	POND NORMAL WATER LEVEL
---	---	---	RETAINING WALL
---	---	---	FENCE
---	---	---	CONCRETE PAVEMENT
---	---	---	CONCRETE SIDEWALK
---	---	---	HEAVY DUTY BITUMINOUS PAVEMENT
---	---	---	NORMAL DUTY BITUMINOUS PAVEMENT
---	---	---	GRAVEL
---	---	---	NUMBER OF PARKING STALLS
---	---	---	TRANSFORMER
---	---	---	SITE LIGHTING
---	---	---	TRAFFIC SIGN
---	---	---	POWER POLE
---	---	---	BOLLARD / POST
---	---	---	DECIDUOUS TREE
---	---	---	CONIFEROUS TREE

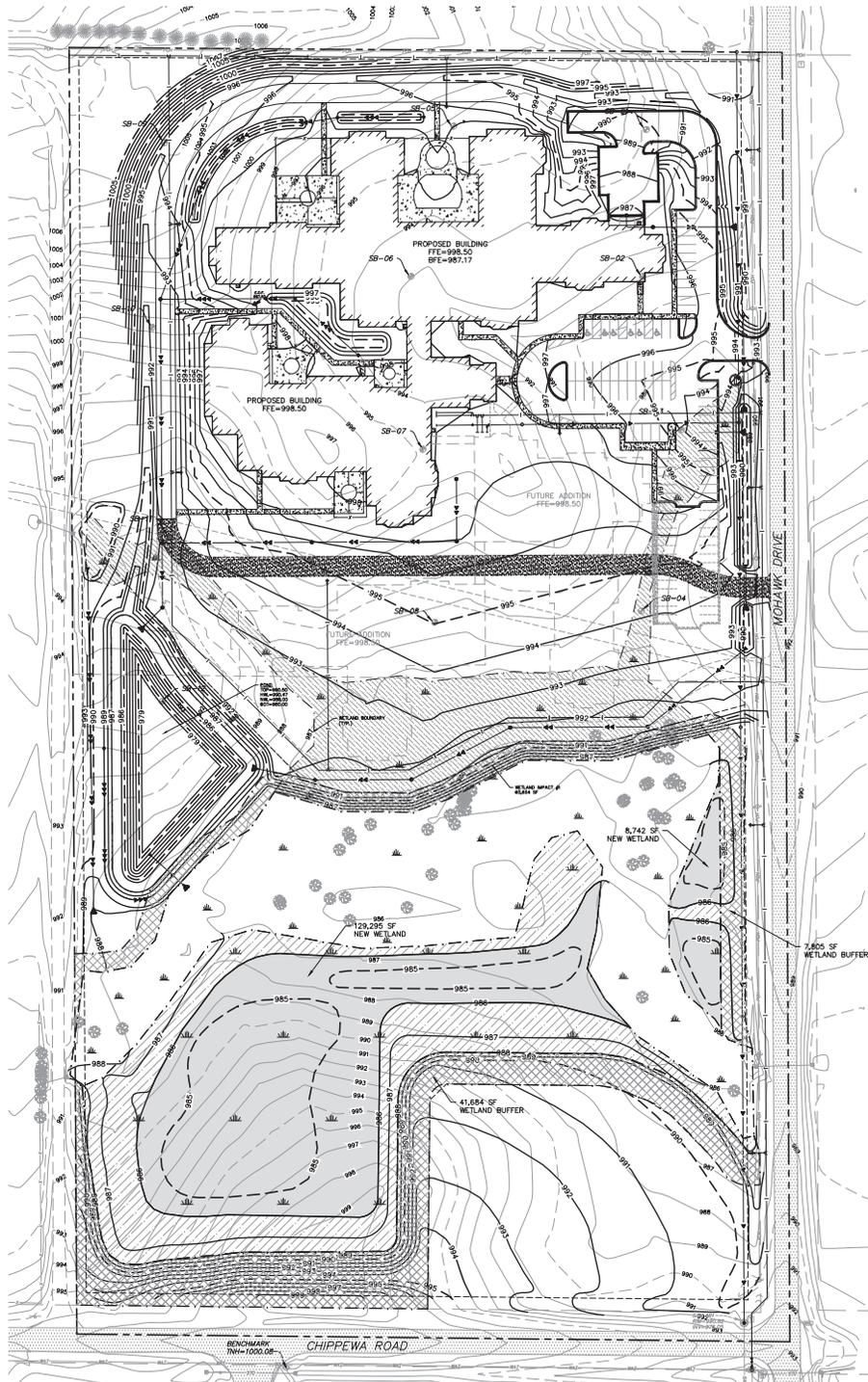
General Site Notes

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, ST. CLOUD, MINNESOTA, DATED 11/14/14.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADI ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE 8612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

Site Details (SI-000)

- 8612 CURB & GUTTER
- MOUNTABLE CURB & GUTTER
- INTEGRAL CURB AND WALK
- CONCRETE CROSS GUTTER
- PRIVATE CONCRETE SIDEWALK
- PEDESTRIAN CURB RAMP
- PARALLEL PEDESTRIAN CURB RAMP
- SIGN INSTALLATION
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- PAVEMENT SECTIONS
- CURB CUT WITH EROSION CONTROL MAT
- BEAVERTAIL CURB (8612)





Grading Legend

EXISTING	PROPOSED	
INDEX CONTOUR	INDEX CONTOUR	PROPERTY LINE
INTERVAL CONTOUR	INTERVAL CONTOUR	WATER MAIN
CURB AND GUTTER	CURB AND GUTTER	FLARED END SECTION (WITH RIPRAP)
POND NORMAL WATER LEVEL	POND NORMAL WATER LEVEL	STORM SEWER
SILT FENCE	SILT FENCE	WATER MAIN
STORM SEWER	STORM SEWER	SANITARY SEWER
FLARED END SECTION (WITH RIPRAP)	FLARED END SECTION (WITH RIPRAP)	RETAINING WALL
WATER MAIN	WATER MAIN	DRAIN TILE
SANITARY SEWER	SANITARY SEWER	RIDGE LINE
RETAINING WALL	RETAINING WALL	GRADING LIMITS
DRAIN TILE	DRAIN TILE	RIP-RAP
RIDGE LINE	RIDGE LINE	EROSION CONTROL BLANKET
GRADING LIMITS	GRADING LIMITS	TURF REINFORCEMENT MAT
RIP-RAP	RIP-RAP	SPOT ELEVATION
EROSION CONTROL BLANKET	EROSION CONTROL BLANKET	FLOW DIRECTION
TURF REINFORCEMENT MAT	TURF REINFORCEMENT MAT	TOP AND BOTTOM OF RETAINING WALL
SPOT ELEVATION	SPOT ELEVATION	EMERGENCY OVERFLOW
FLOW DIRECTION	FLOW DIRECTION	INLET PROTECTION
TOP AND BOTTOM OF RETAINING WALL	TOP AND BOTTOM OF RETAINING WALL	
EMERGENCY OVERFLOW	EMERGENCY OVERFLOW	
INLET PROTECTION	INLET PROTECTION	

Grading Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECAST BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND SIZES OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND 500 OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK OR APPROVED EQUIV. IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVAL OF UNSTABLE OR UNSATURABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.

Wetland Mitigation

	T-3 WETLAND - INUNDATED - 81,718 SF
	T-2 WETLAND - 55,425 SF
	UPLAND BUFFER - 49,489 SF

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 Fax 320-253-8737
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Drawn by _____
 Checked by _____
 Design by _____
 Revised Drawing by/Date _____

Revisions
 1/20/15 - PAPER FILE

1. I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.
 Robert J. Olson

Date 10/30/15 License No. 40225

Prepared for

Wealshire, LLC

2001 Lyndale Avenue South
 Bloomington, MN

**Wealshire of
 Medina**

Medina, MN

Grading Plan - Overall

0' 50' 100' 150'
NOT FOR CONSTRUCTION

Date 10/30/15
 Sheet 5 of 17

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 Call 48 Hours before digging:
 811 or call811.com
 Common Ground Alliance

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Drawn by _____
 Checked by _____
 Design by _____
 Revised Drawing by/Date _____

Revisions
 1/10/15 - PUNCH LIST

I hereby certify that this plan was prepared by me or under my
 direct supervision and that I am a duly Licensed Professional Engineer
 in the State of Minnesota.
 Robert J. Olson

Title: 10/30/15 Drawing No. 40022

Prepared for

Wealshire, LLC

2601 Lyndale Avenue South
 Bloomington, MN

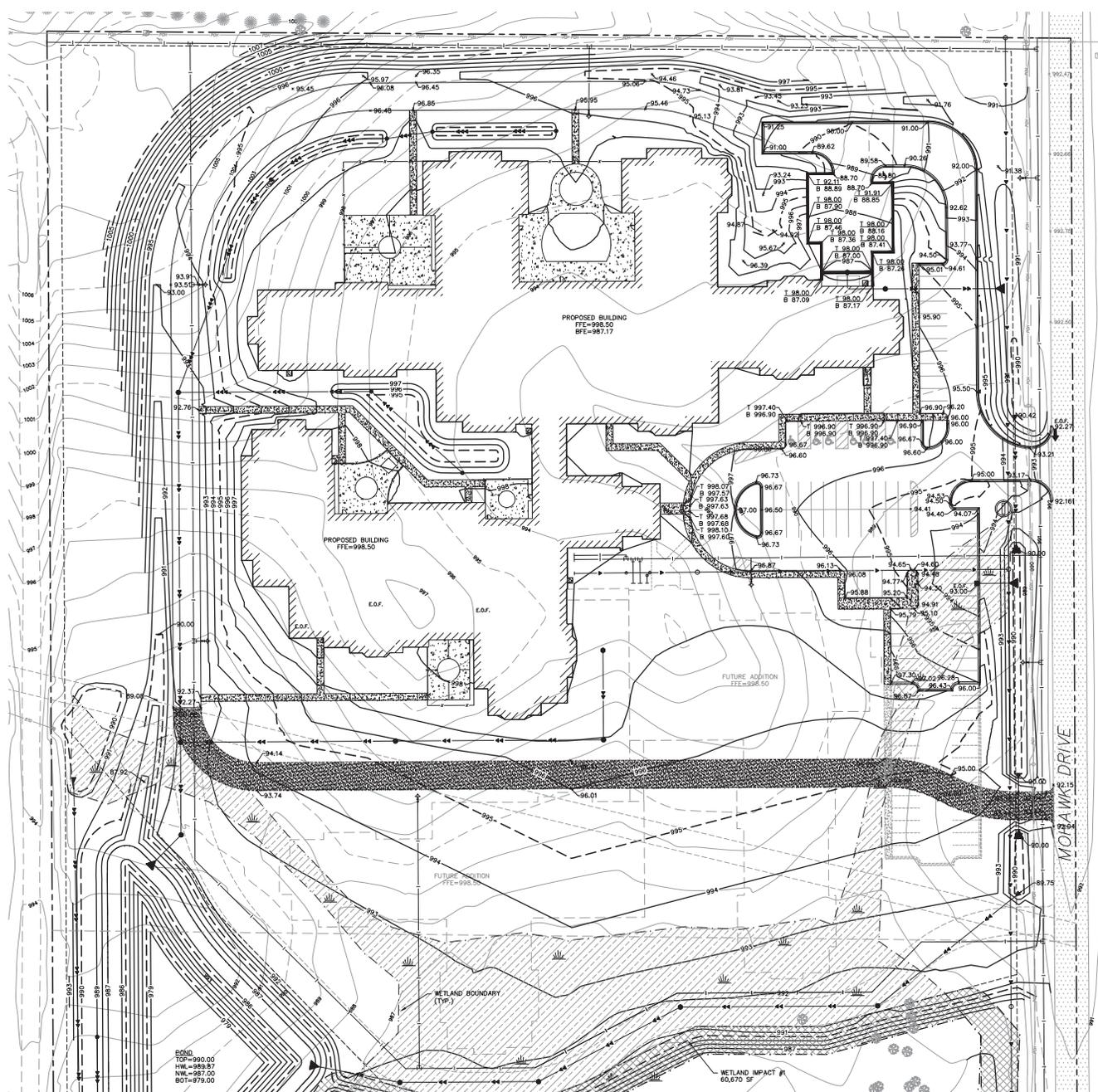
**Wealshire of
 Medina**

Medina, MN

Grading Plan - North

Grading Legend

EXISTING	PROPOSED	
980	960	PROPERTY LINE
982	962	INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		RIP-RAP
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		INLET PROTECTION



POND
 TOP=990.00
 NW=989.87
 NW=987.00
 SW=979.00

N

0' 30' 60' 90'

NOT FOR CONSTRUCTION

Date: 10/30/15
 Sheet: 6 OF 17
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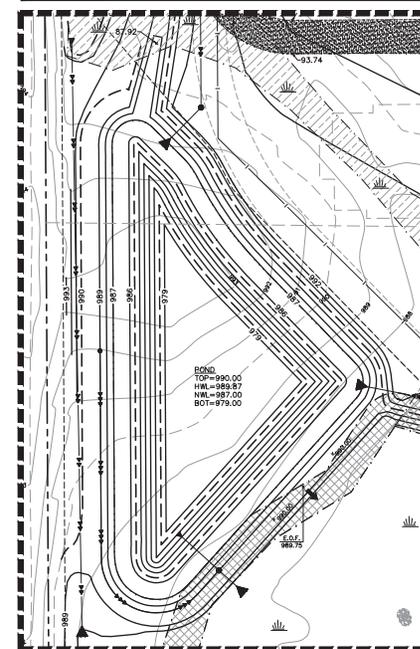
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 Call 48 Hours before digging:
 811 or call811.com
 Common Ground Alliance



Grading Legend

EXISTING	PROPOSED	
980	980	PROPERTY LINE
982	982	INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		STORM SEWER
		FLARED END SECTION (WITH RRPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		RR-PRAP
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		INLET PROTECTION

Pond Inset



NOT FOR CONSTRUCTION

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Disturbance	100
Channel	100
Ditch	100
Revised Disturbance by Date	

Revisions	
1/10/15 - Final Plan	

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Minnesota.
 Robert J. Quinn
 Title: PE/2015 License No. 400225

Prepared for
Wealshire, LLC
 2601 Lyndale Avenue South
 Bloomington, MN

Wealshire of Medina
 Medina, MN

Grading Plan - South

Date: 10/30/15
 Sheet: 7 of 17