

Information for File # 2015-01879-MMJ – Laketown Residential Development

Applicant: Lennar Corporation

Corps Contact: Melissa Jenny

Address: 180 5th St. E. Ste 700, St. Paul, MN 55101-1678

E-Mail: melissa.m.jenny@usace.army.mil

Phone: 651-290-5363

Primary County: Carver – City of Victoria

Section, Township, Range: Part of Sections 23-26, T. 116 N. R. 24W.

Information Complete On: 7/1/2015

Posting Expires On: 7/10/2015

Authorization Type: MN LOP-05

This application is being reviewed in accordance with the practices for documenting Corps jurisdiction under Sections 9 & 10 of the Rivers and Harbor Act of 1899 and Section 404 of the Clean Water Act identified in Regulatory Guidance Letter 07-01. We have made a preliminary determination that the aquatic resources that would be impacted by the proposed project are regulated by the Corps of Engineers under Section 404 of the Clean Water Act. Our jurisdictional review and final jurisdictional determination could result in modifications to the scope of the project's regulated waterbody/wetland impacts and compensatory mitigation requirements identified above. An approved jurisdictional determination may be made prior to reaching a permit decision, and will be posted on the St. Paul District web page at <http://www.mvp.usace.army.mil/>.

PROJECT DESCRIPTION AND PURPOSE:

Lennar Corporation is proposing to construct Phase 1 of the Laketown 9th Addition residential development, within the City of Victoria, Minnesota. The purpose of the project is to meet the demand for residential housing in Victoria in accordance with the City of Victoria Comprehensive Plan (2009) as revised, and the Southwest Area Master Plan (2004). The project site includes approximately 110 acres adjacent to Lake Wasserman. The residential development would consist of 99 residential lots, streets, storm water ponds, trunk utilities, recreational trails and approximately 28 acres of park dedication and open space. The project also includes the extension and connection of trunk sewer and water utilities to serve the development and adjacent neighborhoods.

NAME, AREA AND TYPES OF WATERS (INCLUDING WETLANDS) SUBJECT TO LOSS:

The project as proposed would result in the discharge of fill material into approximately 0.98 acre (42,461 square feet) of wet meadow and shallow marsh type wetland at one location, to facilitate the construction of a local street and co-located trunk sewer and water build out that would serve to connect adjacent neighborhoods.

ALTERNATIVES CONSIDERED:

No-build: The no-build alternative would completely avoid wetlands on the property. However, it is not considered practicable because it would not fulfill the overall purpose of the project, which is to provide suitable housing options for a growing population within the context of the City of Victoria Comprehensive Plan and Southwest Area Master Plan. For this reason, the no-build alternative was rejected.

Alternative Site: An alternative site was considered but rejected. The property has been thoroughly investigated as a potential development, and not using the area would be inconsistent with the ongoing expansion in the area.

Alternative Site Design: An alternative design that would avoid all wetland impacts would require eliminating the impact associated with the street/utility crossing. If this impact were removed, approximately 20 lots would also need to be removed in the area of proposed Sorrel Court (GP 2) because there would no longer be safe ingress and egress for the homes along this road. A cul-de-sac of sufficient length to provide access to these homes if they were to remain would be too long to meet street design and safety standards. Further, by eliminating this impact, the project would not meet the City requirement to provide a street and trunk utility connection between adjacent neighborhoods. For these reasons, a design that avoids all wetland impacts is not feasible and was rejected.

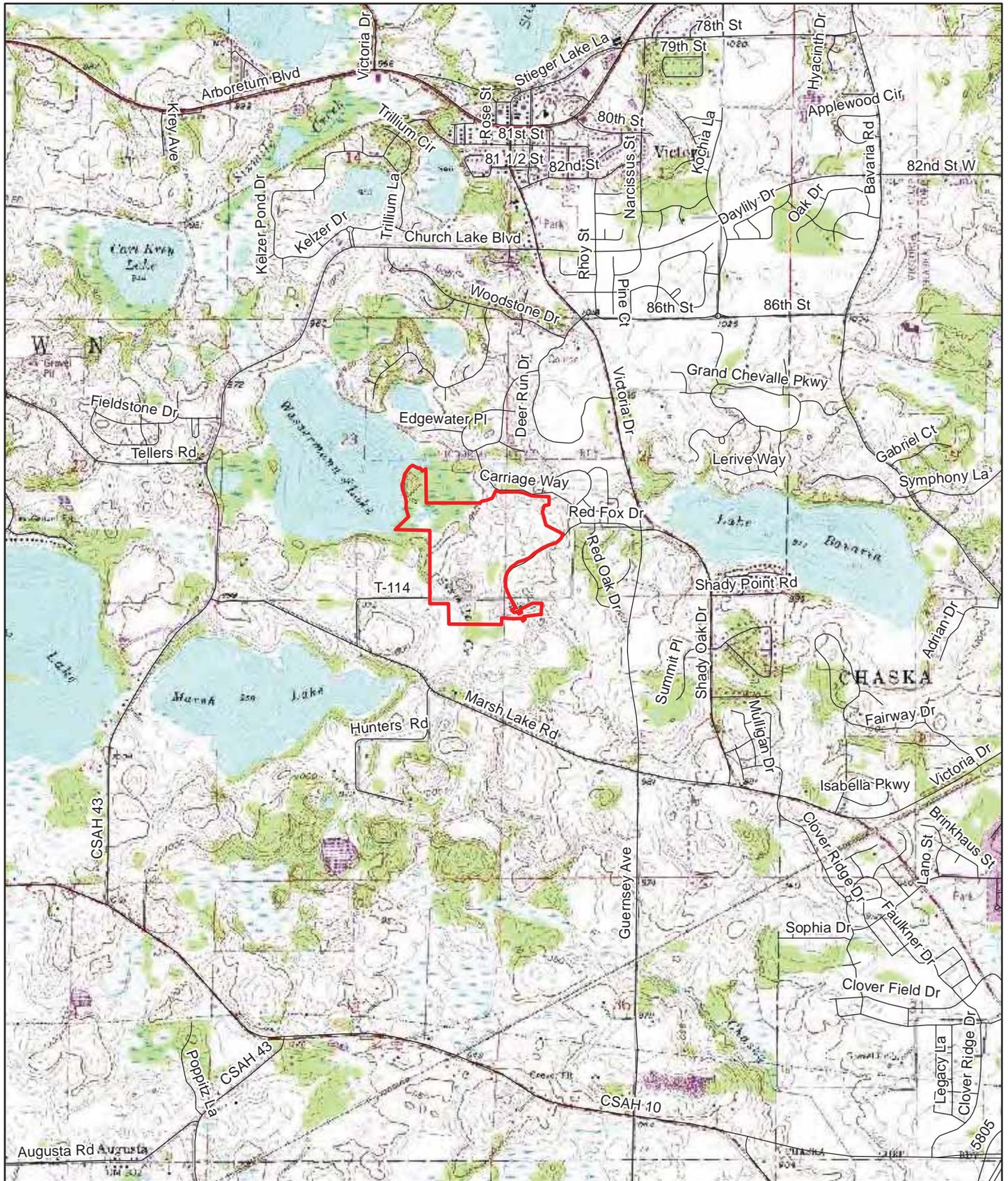
COMPENSATORY MITIGATION:

The applicant proposes to compensate for the 0.98 acre of wetland impacts associated with this project, at a 2:1 ratio, via construction of an on-site wetland restoration project that would generate a minimum of two standard wetland credits.

The applicant proposes to meet wetland replacement requirements through a partnership with the Minnehaha Creek Watershed District (MCWD) to restore a portion of the Six-Mile Creek subwatershed, which has been identified by the MCWD as a priority focus area. Details of the proposed Six Mile Creek Restoration Plan and replacement credits generated by the project will be provided under separate cover by the MCWD. If replacement is not achieved through the partnership with the MCWD, replacement would be provided, at a 2:1 ratio, through the purchase of wetland bank credits from a Corps approved wetland bank located within the same major watershed as the impact site.

Drawings: See attached, labeled as 2015-01879-MMJ, Posting figures 1 - 7.

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Data Source(s): MnDOT BaseMap Roads (2009), WESTwood 2015, USAD-NRCS (2002).

Laketwon 9th Addition

Victoria, Carver County, Minnesota

Site Location & USGS Topography

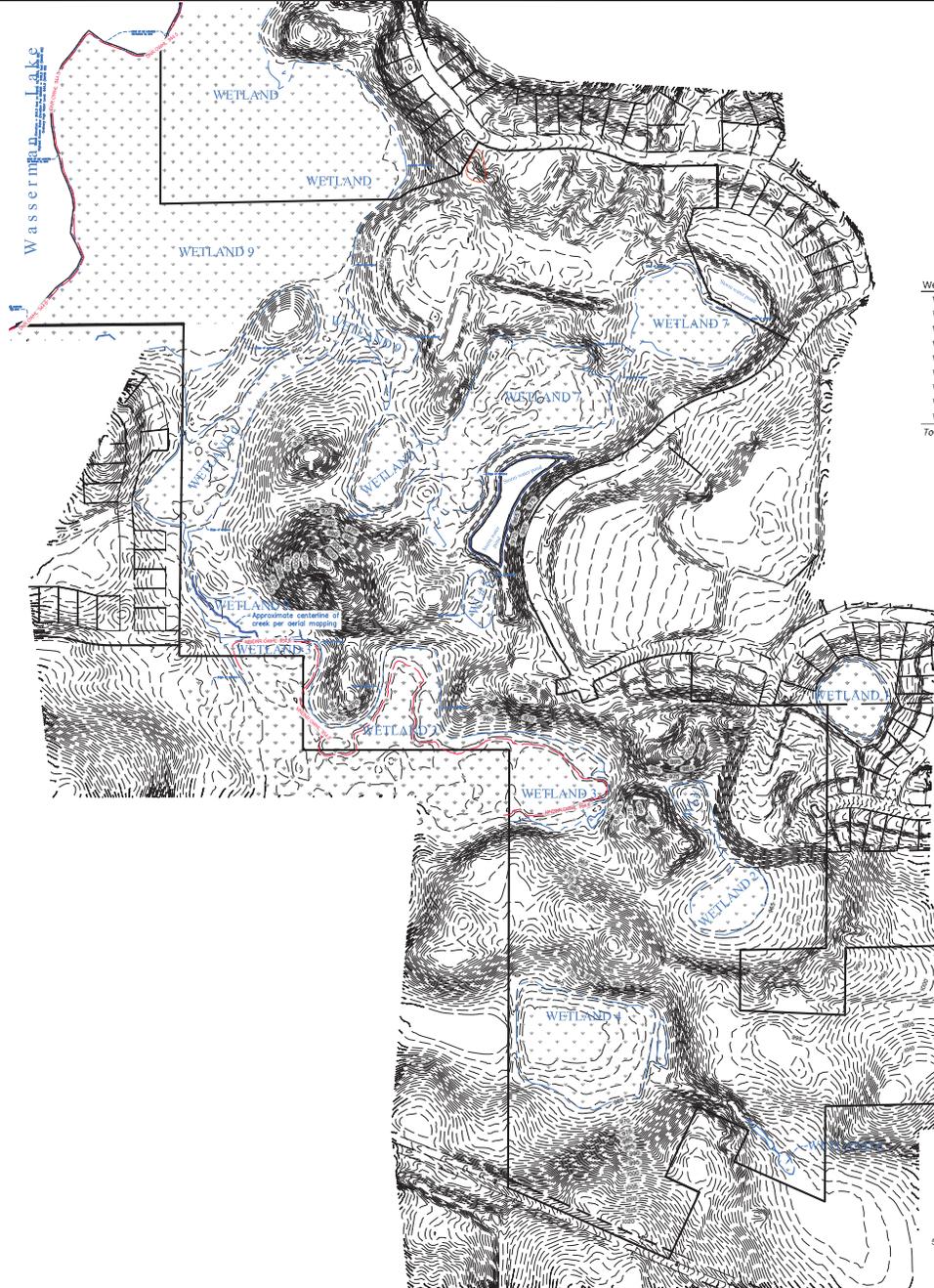
EXHIBIT 1

Westwood

Toll Free (888) 937-5150 www.westwoodjls.com
Westwood Professional Services, Inc.



Map Document: P:\0005828.00\GIS\liemar_baktown_loc_01A_Ext1.mxd 6/8/2015 7:20:38 AM

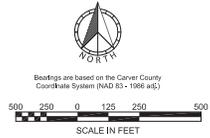


Wetland Areas	Area in Sq. Ft.	Area in Acres
Wetland 1	1,081	0.025
Wetland 2	97,430	2.237
Wetland 3	327,889	7.527
Wetland 4	235,501	5.406
Wetland 5	9,452	0.217
Wetland 6	6,563	0.151
Wetland 7	504,861	11.590
Wetland 8	23,461	0.539
Wetland 9	1,125,775	25.936
Total Wetland	2,336,013	53.627

SURVEY LEGEND

- ⊙ CAST IRON MONUMENT
- SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- ▲ SURVEY CONTROL POINT
- ▭ CATCH BASIN
- < FLARED END SECTION
- ⊗ GATE VALVE
- ⊕ HYDRANT
- ⊙ SANITARY MANHOLE
- ⊙ STORM MANHOLE
- ⊙ STORM DRAIN
- ⊙ CABLE TV PEDESTAL
- ⊙ ELECTRIC TRANSFORMER
- ⊙ HAND HOLE
- ⊙ TELEPHONE PEDESTAL
- ⊙ UTILITY PEDESTAL
- LIGHT POLE
- ⊕ POWER POLE
- < GUY WIRE
- ⊕ SIGN

- ▭ BITUMINOUS
- ▭ CONCRETE CURB
- ▭ CONCRETE
- FENCE
- OHW
- OVERHEAD UTILITY
- SANITARY SEWER
- STORM SEWER
- UTILITY UNDERGROUND
- WATERMAIN



Project:
**Laketown
9th Addition**

Project Location:
Victoria, Minnesota
Client:
U.S. Home Corporation
16305 36th Avenue North, Suite 600
Plymouth, Minnesota 55446
Phone: 612-246-3300

Consultant:
SATHRE-BERGQUIST, INC.
100 SOUTH BROADWAY WAYSIDE, MN. 55381 (855) 478-0900

Quality Control:
The work was checked and approved by the following:

Quality Assurance:

Task/Class	Inspector	ACC. COMP. DATE
Drafting	JAL	
Checked	DFP	
Reviewed	MBQ	



Submittals:

No.	Description	Date

Signature:

Title:

**OVERALL SHEET
MISC WETLAND INFO**

File No.: 5401-669-900

Sheet:
**Sheet 1 of 1
Exhibit 2**

LAKETOWN 9TH ADDITION

C.R. DOC. NO.

DESCRIPTION OF PROPERTY SURVEYED

Parcel I:
The Southeast Quarter of the Southeast Quarter of Section 23, Township 116 North, Range 24 West, Carver County, Minnesota.

AND

Government Lot 5, Section 23, Township 116 North, Range 24 West, Carver County, Minnesota, except the following two parcels:
The East 1430.00 feet of the North 800.00 feet of Government Lot 5.
The East 211.00 feet of Government Lot 5, lying South of the North 800.00 feet of said Government Lot 5.

Parcel II:
Outlet P, Laketown 1st Addition, Carver County, Minnesota.

Parcel III:
Outlet R, Laketown 1st Addition, Carver County, Minnesota.

Parcel IV:
Outlet A, Laketown 4th Addition, Carver County, Minnesota.

Parcel V:
Omitted

Parcel VI:
Omitted

Parcel VII:
Omitted

Parcel VIII:
That part of the Northwest Quarter of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota, lying south of the north 300 feet thereof and north of the south 318.75 feet thereof.
AND
The south 318.75 feet of the Northwest Quarter of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota.

Parcel IX:
The westerly 829.25 feet of the Southeast Quarter of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota. Except that part of said westerly 829.25 feet described as beginning at the southeast corner of said Southeast Quarter of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota, on an assumed bearing of North 80 degrees 47 minutes 00 seconds West, along the north line of said South Half of the Northwest Quarter, a distance of 100.00 feet to the west line of said East 1600 feet of the North Half of the Northwest Quarter being the point of beginning; thence South 00 degrees 25 minutes 58 seconds West, a distance of 284.25 feet; thence South 80 degrees 47 minutes 00 seconds East, a distance of 305.25 feet; thence North 00 degrees 25 minutes 58 seconds East, a distance of 278.23 feet to said north line of the South Half of the Northwest Quarter; thence South 88 degrees 47 minutes 00 seconds West, along said north line of the South Half of the Northwest Quarter a distance of 165.17 feet to the point of beginning.

Parcel X:
All that part of the east 1600 feet of the north 305 feet of the South Half of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota, lying westerly of the westerly right of way line of County Road No. 11. Except that part of the southeast corner of said South Half of the Northwest Quarter; thence on an assumed bearing of South 88 degrees 47 minutes 00 seconds West, along the north line of said South Half of the Northwest Quarter, a distance of 1600.00 feet to the west line of said East 1600 feet of the North Half of the Northwest Quarter being the point of beginning; thence South 00 degrees 25 minutes 58 seconds West, a distance of 284.25 feet; thence South 80 degrees 47 minutes 00 seconds East, a distance of 305.25 feet; thence North 00 degrees 25 minutes 58 seconds East, a distance of 278.23 feet to said north line of the South Half of the Northwest Quarter; thence South 88 degrees 47 minutes 00 seconds West, along said north line of the South Half of the Northwest Quarter a distance of 165.17 feet to the point of beginning.

Parcel XI:
The North Half of the Southeast Quarter of the Northwest Quarter and the Southwest Quarter of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota.
Except the westerly 829.25 feet thereof.
AND
Except that part of said Southeast Quarter of the Northwest Quarter of Section 25 lying easterly of said westerly 829.25 feet described as beginning at the southeast corner of said Southeast Quarter of the Northwest Quarter; thence on an assumed bearing of North 80 degrees 47 minutes 00 seconds East, along the east line of said Southeast Quarter of the Northwest Quarter, a distance of 239.02 feet; thence North 00 degrees 14 minutes 19 seconds West, a distance of 455.14 feet; thence North 00 degrees 14 minutes 19 seconds East, a distance of 410.14 feet; thence North 00 degrees 12 minutes 44 seconds West, a distance of 25.26 feet; thence South 24 degrees 47 minutes 10 seconds West, a distance of 119.03 feet; thence South 65 degrees 12 minutes 44 seconds East, a distance of 150.07 feet; thence South 24 degrees 47 minutes 10 seconds West, a distance of 308.22 feet to the centerline of Marsh Lake Road; thence southeasterly along the said centerline to the south line of said Southeast Quarter of the Northwest Quarter; thence east along said south line of the Southeast Quarter of the Northwest Quarter to the point of beginning.

Parcel XII:
Except the east 1600 feet of the north 305 feet of the North Half of the Southeast Quarter of the Northwest Quarter and the Southwest Quarter of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota, lying westerly of the westerly right of way line of County Road No. 11.
AND
Except that part of the South Half of the Northwest Quarter of Section 25, Township 116, Range 24, Carver County, Minnesota, described as commencing at the northeast corner of said South Half of the Northwest Quarter; thence on an assumed bearing of South 88 degrees 47 minutes 00 seconds West, along the north line of said South Half of the Northwest Quarter, a distance of 1600.00 feet to the west line of said East 1600 feet of the North Half of the Northwest Quarter being the point of beginning; thence South 00 degrees 25 minutes 58 seconds West, a distance of 284.25 feet; thence South 80 degrees 47 minutes 00 seconds East, a distance of 305.25 feet; thence North 00 degrees 25 minutes 58 seconds West, a distance of 278.23 feet to said north line of the South Half of the Northwest Quarter; thence South 88 degrees 47 minutes 00 seconds East, along said north line of the South Half of the Northwest Quarter a distance of 165.17 feet to the point of beginning.

Parcel XIII:
Except that part of the North Half of the Southeast Quarter of the Northwest Quarter of Section 25, Township 116, Range 24, lying easterly of the centerline of County Road 11, Carver County, Minnesota.

Parcel XIV:
That part of the Northeast Quarter of the Northeast Quarter of Section 26, Township 116 North, Range 24 West of the Fifth Principal Meridian, Carver County, Minnesota, described as follows:
Beginning at the Northeast corner of said Northeast Quarter of Section 26, thence southerly along the centerline thereof, to the intersection with a line drawn 464.45 feet southerly of a parallel with the north line of said Northeast Quarter of Section 26, thence westerly along said parallel line to the intersection with a line drawn 853.00 feet westerly of a parallel with the East line of said Northeast Quarter of Section 26, thence north along said parallel line to the intersection with a line drawn 75.00 feet southerly of and parallel with said North line of the Northeast Quarter of Section 26, thence westerly along said parallel line to the intersection with the west line of the Northeast Quarter of said Northeast Quarter of Section 26, thence northerly along said westerly line to the Northwest Corner of said Northeast Quarter of the Northeast Quarter of Section 26, thence easterly to the point of beginning and then returning.

Parcel XV:
Outlet Q, Laketown 1st Addition, Carver County, Minnesota.

Parcel XVI:
Outlet S, Laketown 1st Addition, Carver County, Minnesota.

The above parcels to be platted as Laketown 9th Addition, Carver County, Minnesota.

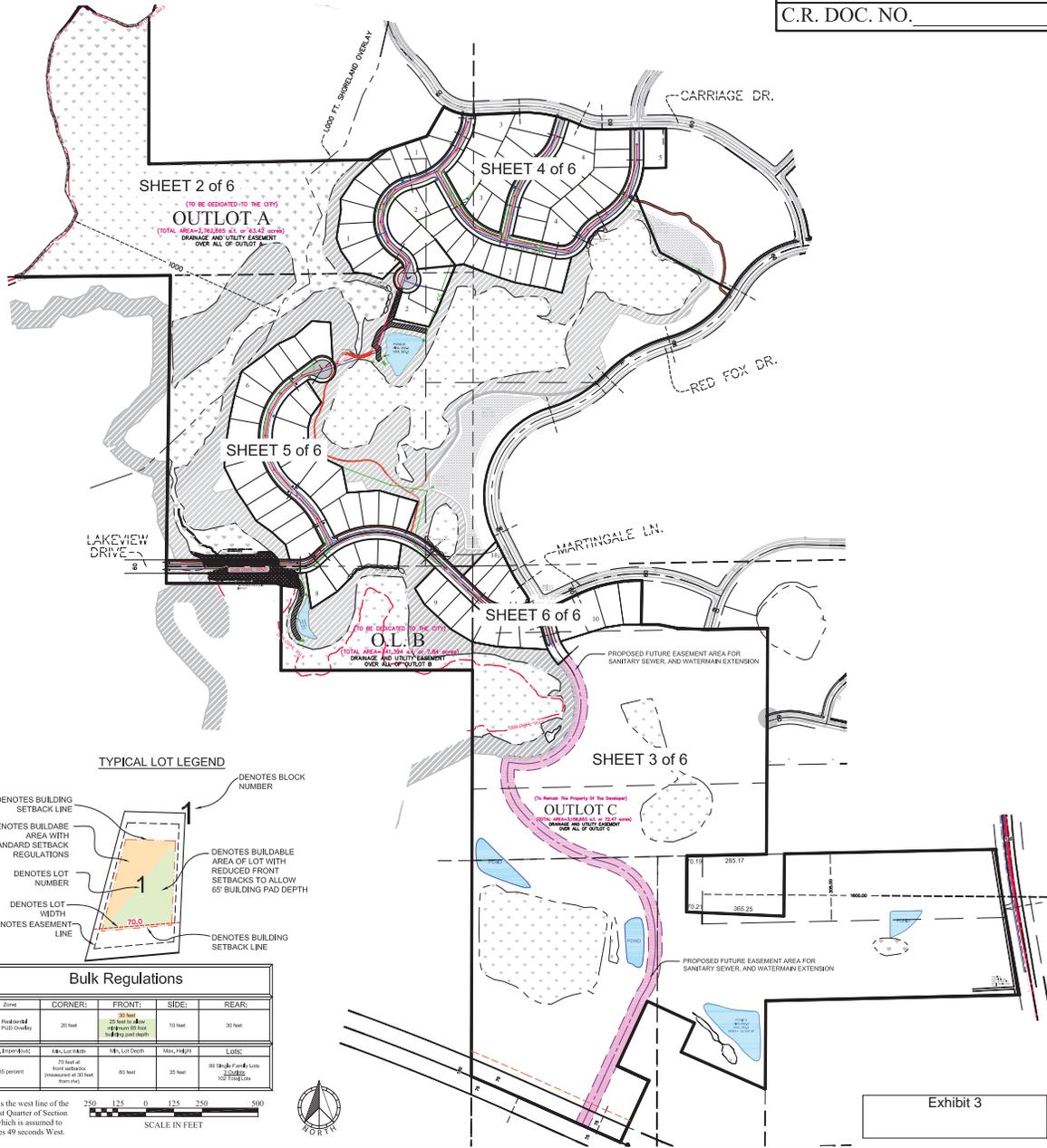
GENERAL SURVEY NOTES

- Site Address: Unassigned, Victoria, Minnesota 55386
- Flood Zone Information: This property is situated in Zone X (Areas determined to be outside 100-year floodplain) and Zone A (Special Flood Hazard areas inundated by 100-year flood, no base flood elevations determined per Flood Insurance Rate Map, Community Panel No. 27000007C, effective date of January 6, 1998. Please see sheet 2 of 7 sheets for the location of the division lines between these zones).
- Parcel Area Information: The Gross land area is 7,074,900 +/- square feet or 163,879 +/- acres.
- Site Elevation: Elevations are based on MNDOT Geodesic Station Name: 1002 BH which has an elevation of 921.08 feet (NAVD83). Contours shown herein are per field observation along with LIDAR data obtained from the Minnesota Department of Natural Resources on January 11, 2013.
- Zoning Information: The current zoning for the subject property is PUD (Plan Unit Development) and AG1 (Agricultural District) per the City of Victoria's zoning map dated June 7, 2013. Please note that the general restrictions for the subject property may have been amended through a city process. We could be unaware of such amendments if they are not in a recorded document provided to us. We recommended that a zoning letter be obtained from the Zoning Administrator for the current restrictions for this site.
- Wetland Delineation: The wetland delineation was performed by Kjörling Environmental Services (KES) and was flagged on September 24, 2014. Sathre-Bergquist located the wetland flags on October 24, 2014.
 - Denotes a 12 inch by 14 inch iron pipe set in the ground and marked by License No. 26147
 - Denotes a nail and disc marked by License No. 26147
 - Denotes a Found Iron Monument
 - Denotes a Found Cast-Iron-Monument

Density Analysis			
Gross Area (minus Outlet C)	4,786,748 s.f.	109.89	acres
Wetland Areas	1,813,532 s.f.	42.18	acres
Wetland Buffer	1,465,794	33.65	acres
Principle Rights of Way (190' L.F. of Lakeside Drive)	35,370 s.f.	0.81	acres
Net Area	1,472,052 s.f.	33.79	acres
Number of Lots		99	Lots
Net Density		2.93	Units per Acre

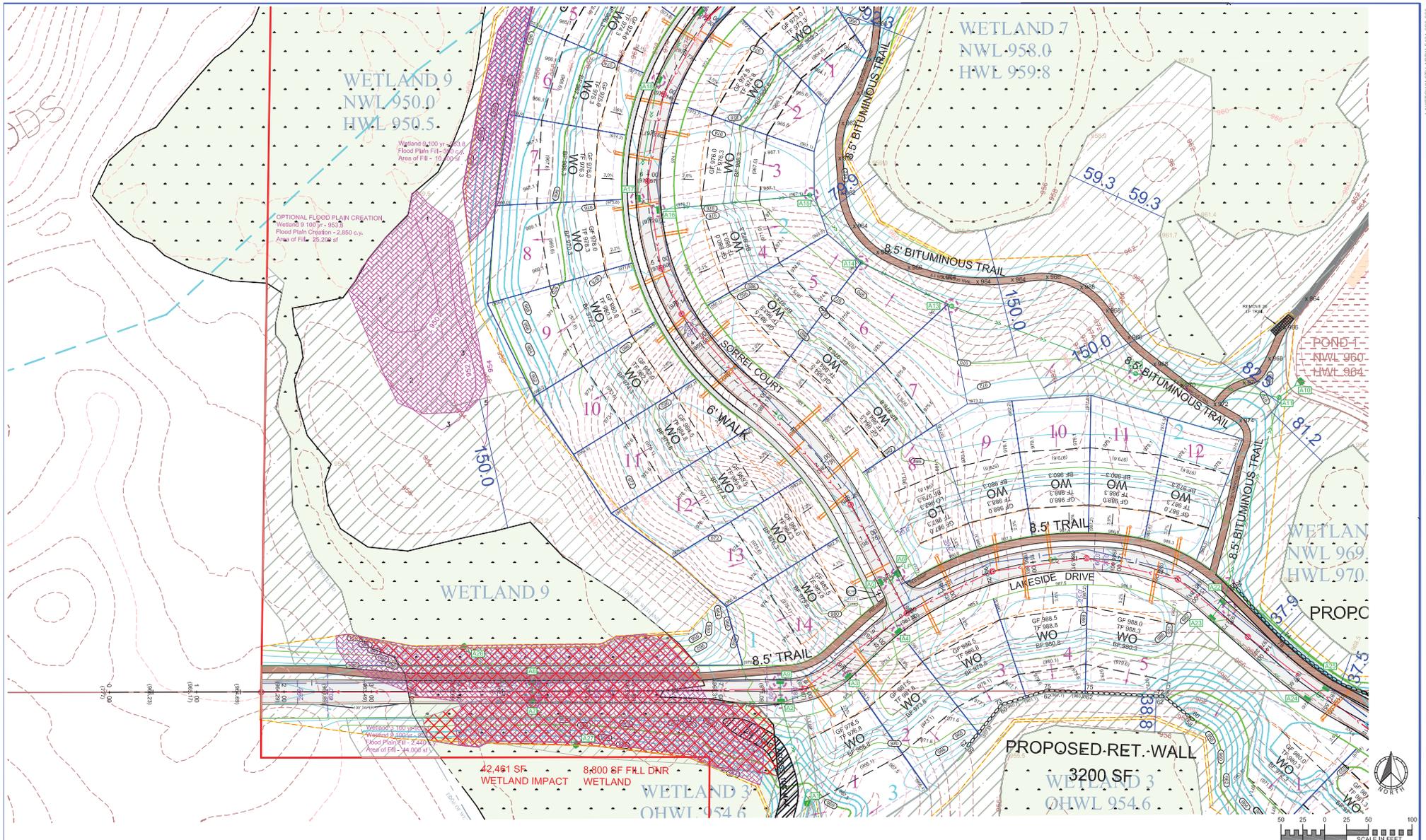
Bulk Regulations				
Zone	CORNER	FRONT	SIDE	REAR
Residential Single-Family (R-1)	30 feet	25 feet to 100 feet (10 feet to 30 feet for lots less than 10,000 sq. ft.)	10 feet	30 feet
Minimum Requirements	Min. Lot Width	Min. Lot Depth	Min. Height	Lot Use
35 percent	75 feet at front setback (measured at 30 feet from corner)	80 feet	35 feet	99 Single-Family Lots (50% to 100% Lots)

The basis for the bearing system is the west line of the Southeast Quarter of the Southeast Quarter of Section 23, Township 116, Range 24, which is assumed to bear South 00 degrees 47 minutes 49 seconds West.



SATHRE-BERGQUIST, INC.

Exhibit 3



DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE LTD	01	DSG	04/23/15	CITY COMMENTS
DRAWN BY	02	DLS	05/14/15	WETLAND FILL COMMENTS
DSG				
CHECKED BY				
DLS				
DATE				
03/27/15				

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I HEREBY CERTIFY THAT THIS PLAN OR SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Daniel J. Schmitt
 DANIEL SCHMIDT, P.E.
 Date: 03/27/2015 L.L. No. 28147

SATHRE-BERGQUIST, INC.
 150 SOUTH BROADWAY WAYZATA, MN 55391 (952) 475-6000

CITY PROJECT NO. _____

VICTORIA, MINNESOTA

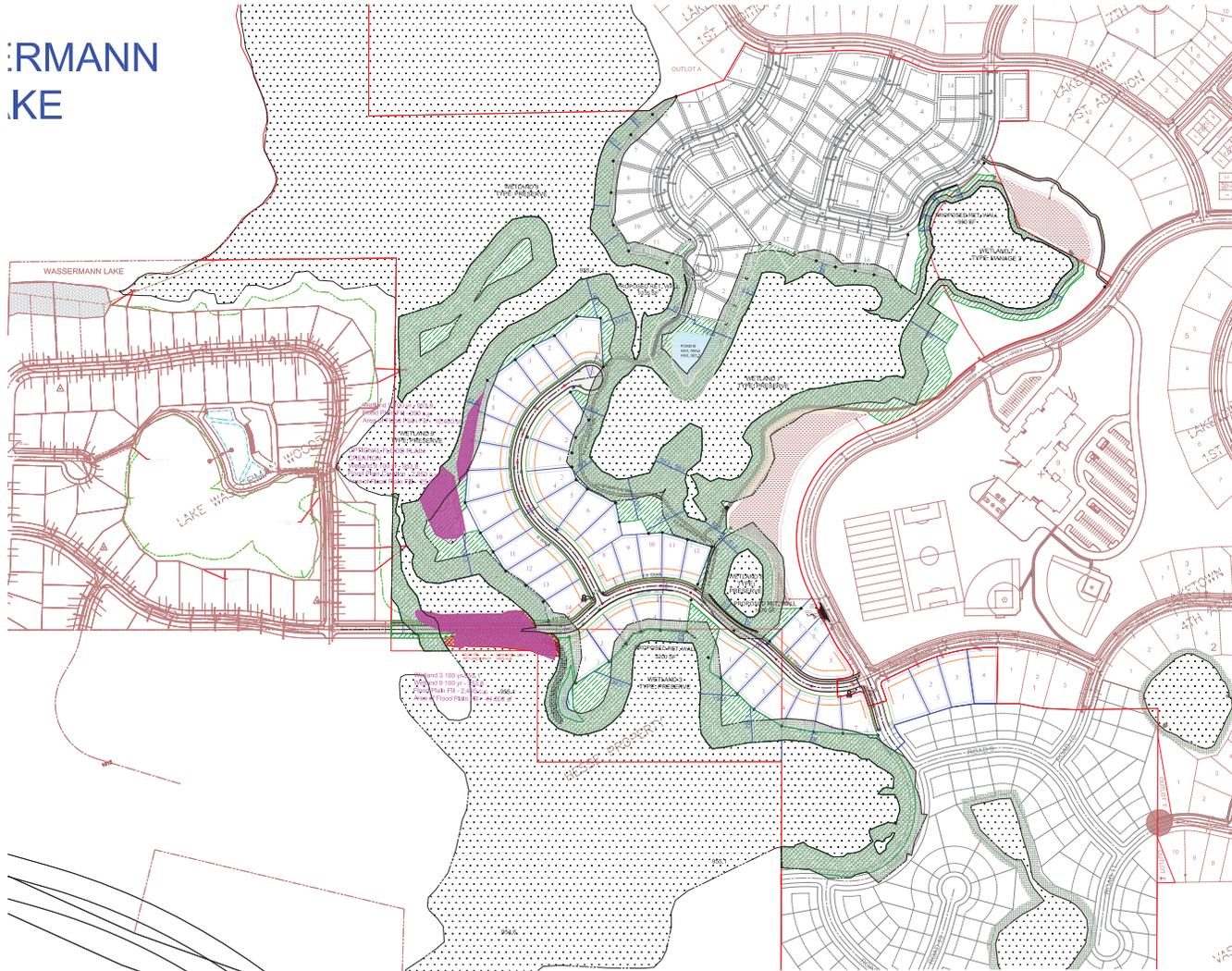
GRADING PLAN
 LAKETOWN 9TH ADDITION
 LENNAR

FILE NO. 5401-669-900
 16
 42

LAKETOWN 9TH ADDITION 5401-669-900

STANDARD BUFFER 1,028,315 S.F.

ERMANN
KE



	EXISTING WETLAND
	IMPACTED WETLAND
	STANDARD BUFFER
	PROPOSED BUFFER
	WETLAND CREATION/FILL

BUFFER DATA						
WETLAND ID	MANAGEMENT CLASSIFICATION	BASE BUFFER WIDTH (FT)	TRAIL S.F.	REQUIRED S.F.	PROPOSED S.F.	EXCESS BUFFER PROVIDED S.F.
WETLAND 3	PRESERVE	75	0	237,440	237,105	-335
WETLAND 7	PRESERVE	75	8,490	310,165	324,155	5,500
WETLAND 7 (NORTH LOBE)	MANAGE 3	20	0	31,285	56,235	24,970
WETLAND 8	PRESERVE	75	1,400	63,255	46,115	-18,540
WETLAND 9	PRESERVE	75	3,970	386,190	441,360	51,200

*PROPOSED BUFFER AREA WITH 20% OF APPLIED BUFFER WIDTH

FLOOD PLAIN FILL		
FILL AREA S.F.	FLOOD PLAIN CREATION C.Y.	FLOOD PLAIN FILL C.Y.
44,000	0	2,440
25,200	2,850	0
10,400	0	390



Exhibit 6

DRAWING NAME	NO.	BY	DATE	REVISIONS
BASE LTR	01	DSG	04/23/15	CITY COMMENTS
DRAWN BY	02	DLS	05/14/15	WETLAND FILL COMMENTS
DSG				
CHECKED BY				
DLS				
DATE				
03/27/15				

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Daniel Schmidt
DANIEL SCHMIDT, P.E.
Date: 03/27/2015 Lic. No. 26147

SATHRE-BERGQUIST, INC.
150 SOUTH BROADWAY WAYZATA, MN 55301 (952) 476-6000

CITY PROJECT NO.
—
VICTORIA,
MINNESOTA

WETLAND BUFFER PLAN
LAKETOWN 9TH ADDITION
LENNAR

FILE NO.
5401-669-000
26
42

WASSERMANN LAKE

DEER RUN GOLF COURSE

LAKETOWN

PHASE 1

PHASE 2

PHASE 3

CONCEPT SKETCH DATA

LOT STANDARDS

Zoning: R Residential w/PUD Overlay

70' WIDE LOTS
 MIN. FRONT YARD SETBACK = 30'
 (FRONT YARD SETBACK CAN GO TO 25' TO SAVE TREES/WETLAND FILL)
 MIN. SIDE YARD SETBACK = 10'
 MIN. REAR YARD SETBACK = 30'
 CORNER SETBACK - 20 FT
 MAX LOT COVERAGE - 35%

Type	Buffer Width
Manage 3	20 feet
Manage 2	30 feet
Manage 1	40 feet
Preserve	75 feet

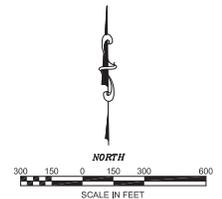
PARK AREA

PARK #1: 3.1 ACRES
 PARK #2: 1.3 ACRES
 PARK #3: 4.8 ACRES
 PARK #4 : 0.8 ACRES

TOTAL: 10.0 ACRES

LEGEND

- PHASE 1
- PHASE 2
- PARKS



EXISTING UTILITIES SHOWN ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ANY AND ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES ARISING OUT OF HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES.

DESIGNER	NO.	BY	DATE	REVISIONS
DLS	4	DLS	10/27/2014	REVISED CONCEPT SKETCH
DRAWN BY	5	DSG	10/31/2014	REVISED CONCEPT SKETCH
CAD	6	DSG	11/21/2014	REVISED CONCEPT SKETCH
CHECKED BY	7	DSG	12/01/2014	REVISED CONCEPT SKETCH
DLS	8	DSG	12/08/2014	REVISED CONCEPT SKETCH
DATE	9	DSG	01/06/2015	REVISED SIMON SKETCH

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Daniel J. Schmitt
 Daniel J. Schmitt, P.E.
 Date: 07-31-2014 Lt. No. 26147

SATHRE-BERQUIST, INC.
 160 SOUTH BROADWAY WAYZATA, MN. 55391 (952) 476-6000

CITY PROJECT NO. —
VICTORIA, MINNESOTA

TITLE SHEET
 LAKETOWN

Exhibit 8a
 FILE NO. 5401-651
C1
 C4