



DEPARTMENT OF THE ARMY
ST. PAUL DISTRICT, CORPS OF ENGINEERS
332 MINNESOTA STREET, SUITE E1500
ST. PAUL, MN 55101-1323

OCTOBER 27, 2023

Regulatory File No. MVP-2022-00656-TKO



Dear [REDACTED]

This letter is in regard to an approved jurisdictional determination for the southwest portion of the property located to the south of Schmidt Road near its intersection with County Rd E in the Town of Freedom. The project site is in Section 30, Township 05 North, Range 21 East, Milwaukee County, Wisconsin. The review area for our jurisdictional determination is identified on the enclosed figures, labeled 2022-00656-TKO Figures 1-8 of 8.

The review area contains no waters of the United States subject to Corps of Engineers (Corps) jurisdiction. Therefore, you are not required to obtain Department of the Army authorization to discharge dredged or fill material within this area. The rationale for this determination is provided in the enclosed Approved Jurisdictional Determination form. This determination is only valid for the review area described. You are also cautioned that the area of waters described on the enclosed Jurisdictional Determination form is approximate and is not based on a precise delineation of aquatic resources.

If you object to this approved jurisdictional determination, you may request an administrative appeal under Corps regulations at 33 CFR 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination, you must submit a completed RFA form to the Mississippi Valley Division Office at the address shown on the form.

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 CFR 331.5, and that it has been received by the Division Office within 60 days of the date of the enclosed NAP. It is not necessary to submit an RFA form to the division office if you do not object to the determination in this letter.

This approved jurisdictional determination may be relied upon for five years from the date of this letter. However, the Corps reserves the right to review and revise the determination in response to changing site conditions, information that was not considered during our initial review, or off-site activities that could indirectly alter the extent of wetlands and other resources on-site. This determination may be renewed at the end of the five year period provided you submit a written request and our staff are able to verify that the limits established during the original determination are still accurate.

If you have any questions, please contact me in our Green Bay office at [REDACTED] In any correspondence or inquiries, please refer to the Regulatory file number shown above.

Sincerely,

[REDACTED]

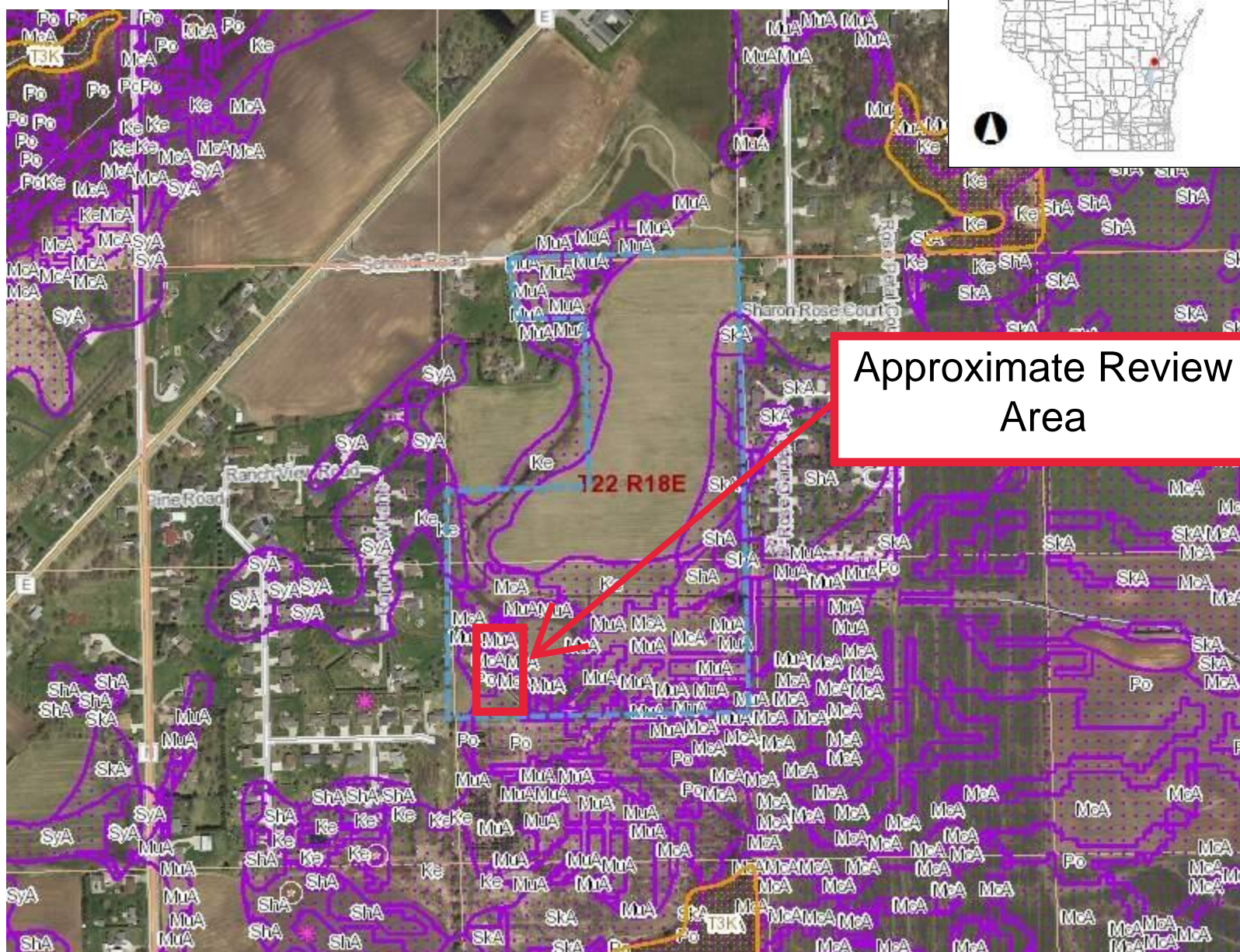
[REDACTED]
Project Manager

Enclosures

cc: [REDACTED] - WI DNR



MVP-2022-00656-TKO Figure 1



Legend

- Wetland Identifications and Confirmations
 - Wetland Class Points
 - Dammed pond
 - Excavated pond
 - Filled excavated pond
 - Filled/drain wetland
 - Wetland too small to delineate
 - Filled Points
 - Wetland Class Areas
 - Wetland
 - Upland
 - Filled Areas
 - Wetland Class Points
 - Dammed pond
 - Excavated pond
 - Filled excavated pond
 - Filled/drain wetland
 - Wetland too small to delineate
 - Filled Points
 - Wetland Class Areas
 - Wetland
 - Upland
 - Filled Areas
 - NRCS Wetspots
 - Maximum Extent Wetland Indicators
 - Township
 - Section
 - Quarter-Quarter
 - County Boundary
 - Cities, Towns & Villages
 - City
 - Village
 - Civil Town

0.3 0 0.13 0.3 Miles

NAD_1983_HARN_Wisconsin_TM

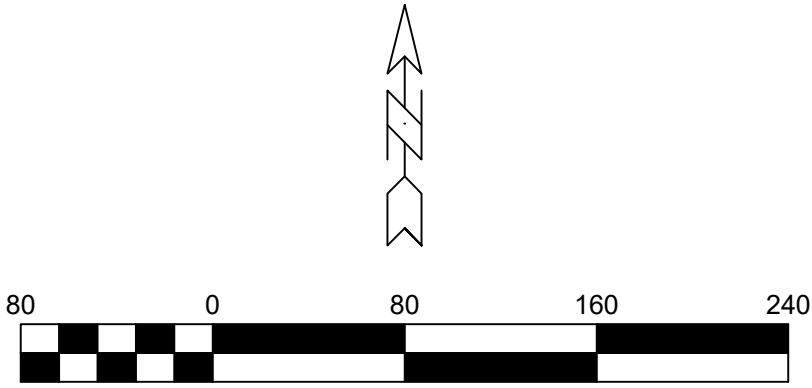
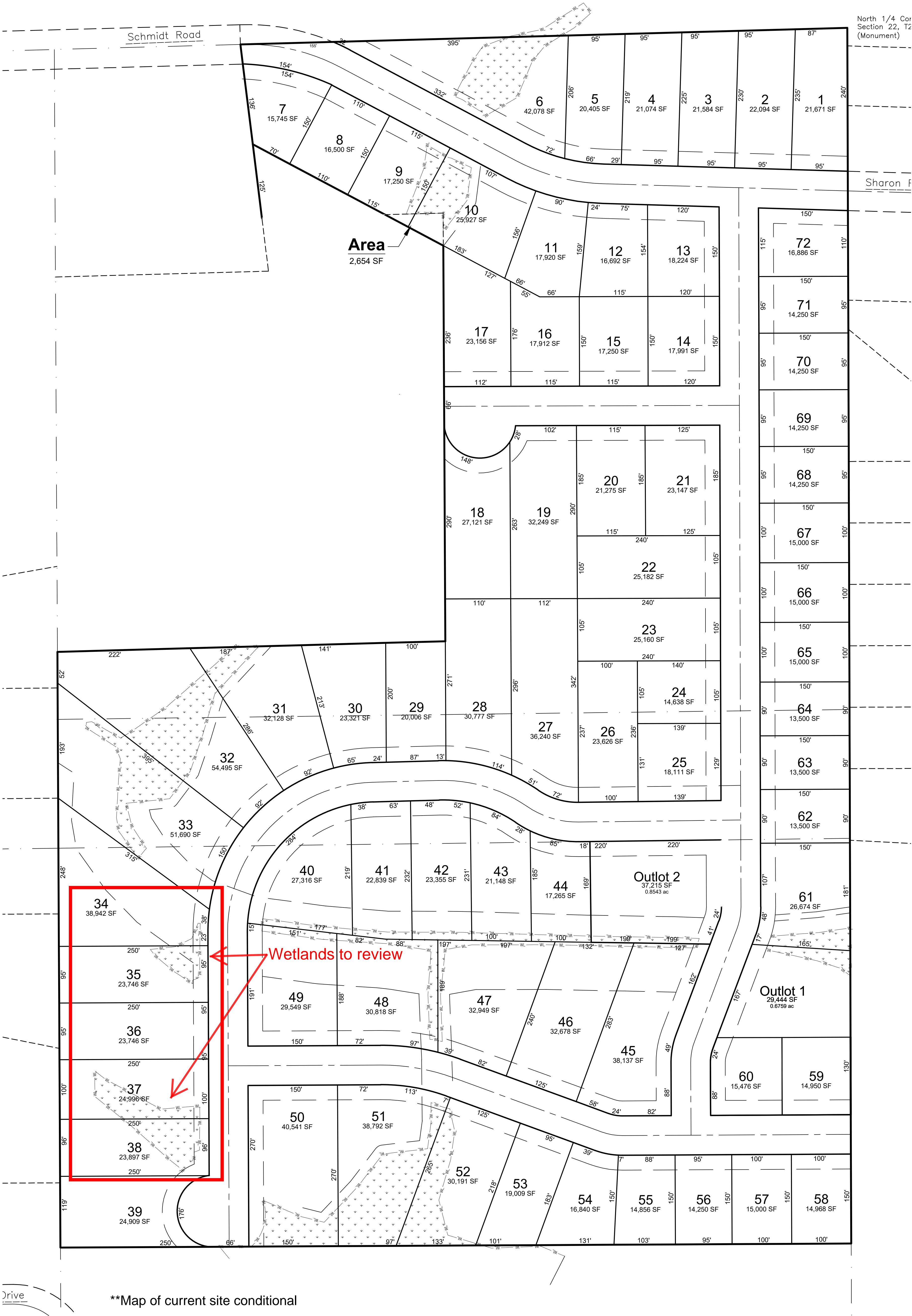
1: 7,920

DISCLAIMER: The information shown on these maps has been obtained from various sources, and are of varying age, reliability and resolution. These maps are not intended to be used for navigation, nor are these maps an authoritative source of information about legal land ownership or public access. No warranty, expressed or implied, is made regarding accuracy, applicability for a particular use, completeness, or legality of the information depicted on this map. For more information, see the DNR Legal Notices web page: <http://dnr.wi.gov/legal/>

Notes

MVP-2022-00656-TKO Figure 2





Remain	Page
Johnathon	Lead Served By
JDP	Author
7009Concept3.dwg	Filename
10/23/2023	Date

Country Fields
Town of Freedom, Outagamie County, WI
For: Tom Dercks

Remaining Wetland



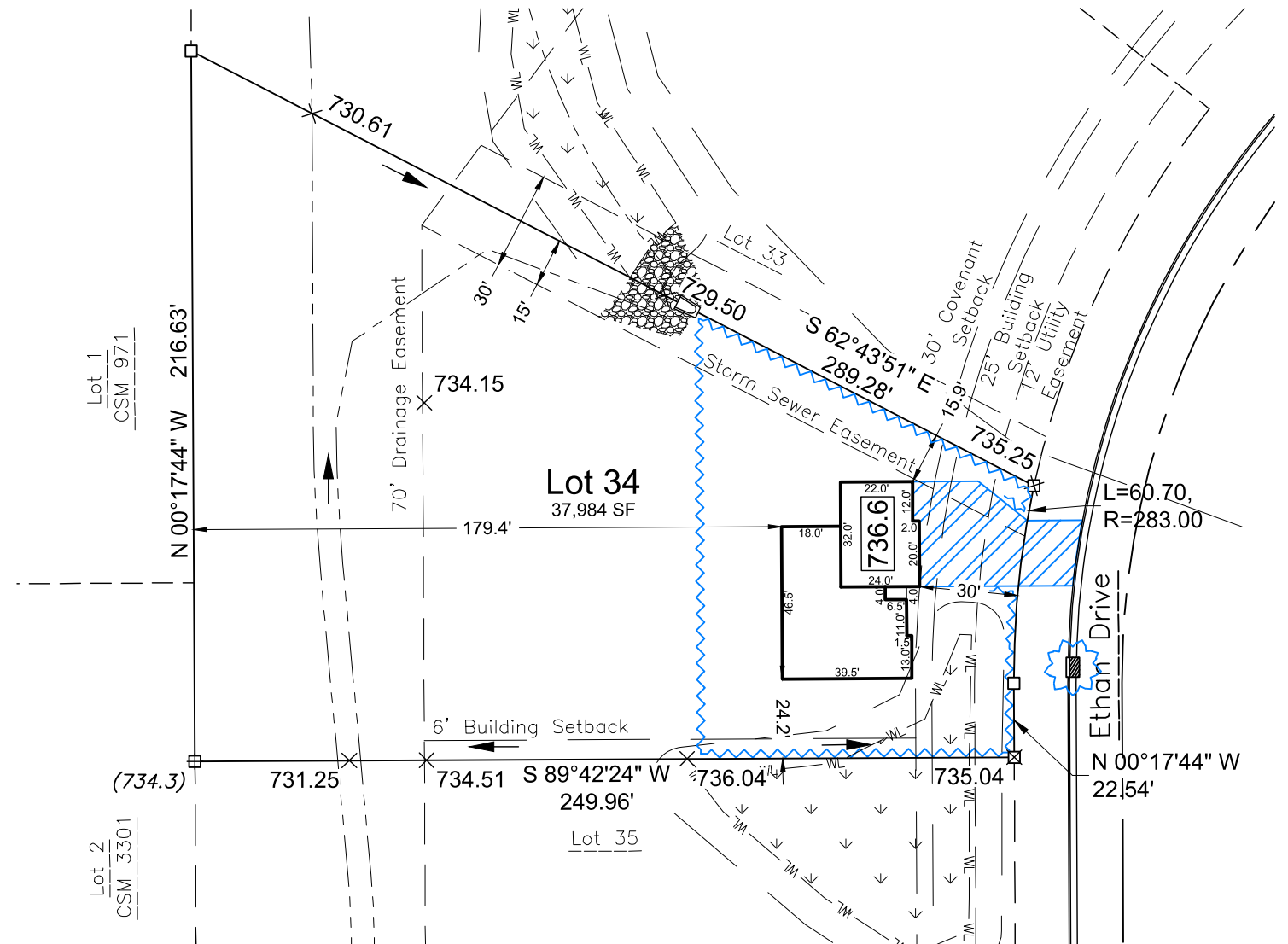
DAVEL ENGINEERING &
ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
www.davel.pro

MVP-2022-00656-TKO Figure 4



Lot 34

Country Fields
Town of Freedom
Outagamie County, WI



*Top Foundation Wall
Elevation = 737.1

LEGEND

- 000.0 Grade at Foundation
- x 000.00 Proposed Grade
- + (000.0) Existing Grade
- Direction of Drainage
- ~~~~~ BMP's for Erosion Control
- Lot Corner
- ▨ Proposed Tracking Pad
- ★ Proposed Inlet Protection

Notes:

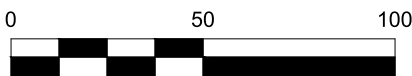
The shown location of Best Management Practice (BMP) for erosion control based upon final drainage pattern. Additional BMPs shall be placed where necessary during construction, dependent on existing site conditions.

Dimensions are to the exterior foundation wall, not including the brick ledge.

Setback Requirements

Front: 25'
Rear: 25'
Sides: 6'

James R. Sehloff Date
Professional Land Surveyor No. S-2692



Bearings are referenced to the
Final Plat of Country Fields



**DAVEL ENGINEERING &
ENVIRONMENTAL, INC.**
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
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Site Plan For:
Fox Cities Development, Inc.
N4079 Lena Ln
Freedom, WI 54130

File: 7009Lot34.dwg
Date: 06/09/2023
Drafted By: johnathon
Sheet: 1

MVP-2022-00656-TKO

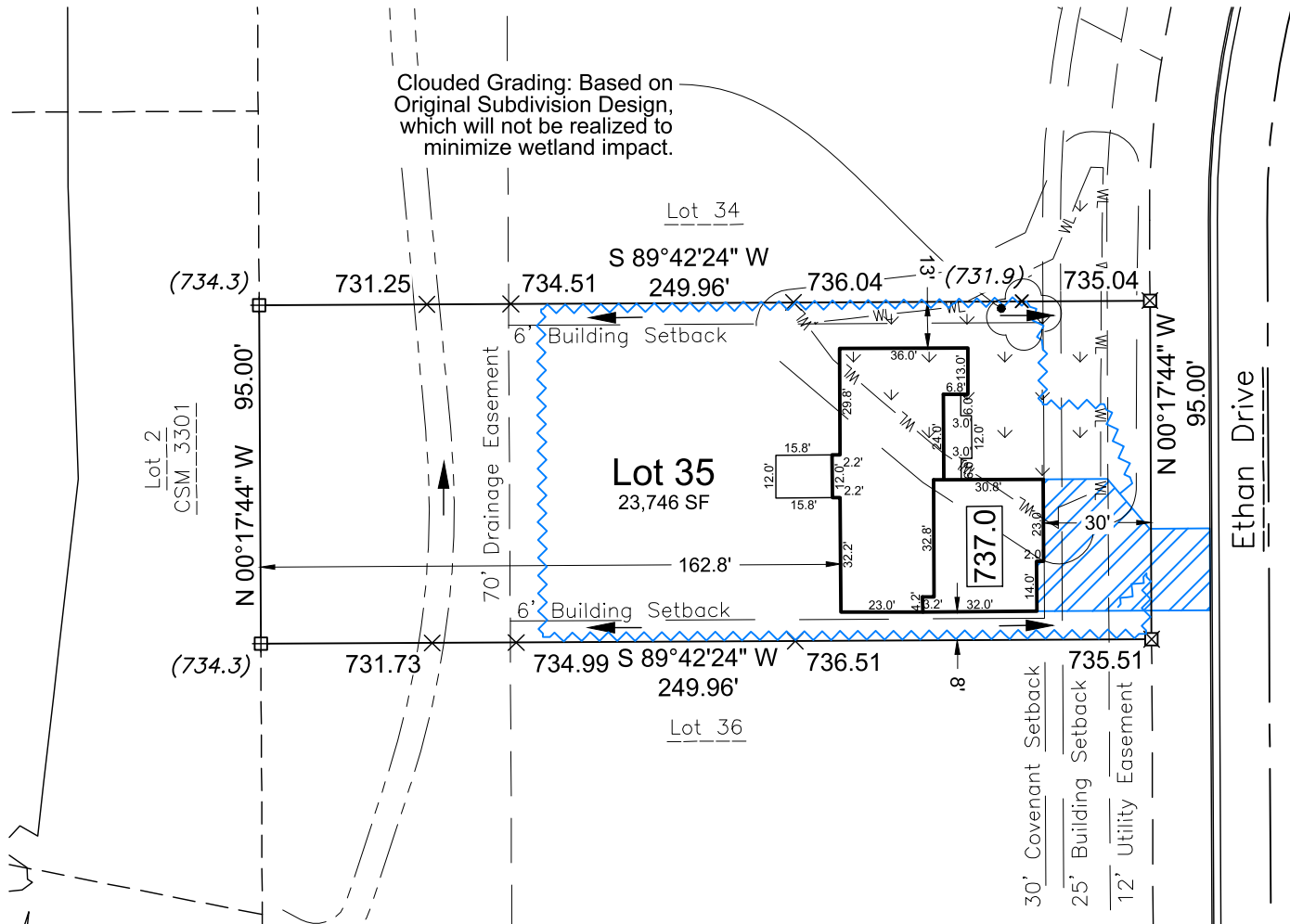
Figure 6

Lot 35

Country Fields

Town of Freedom

Outagamie County, WI



*Top Foundation Wall
Elevation = 737.5

LEGEND

- 000.0 Grade at Foundation
- x 000.00 Proposed Grade
- + (000.0) Existing Grade
- Direction of Drainage
- ~ BMP's for Erosion Control
- Lot Corner
- ▨ Proposed Tracking Pad

Notes:

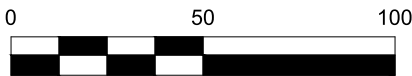
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Dimensions are to the exterior foundation wall, not including the brick ledge.

Setback Requirements

Front: 25'
Rear: 25'
Sides: 6'

James R. Sehloff Date
Professional Land Surveyor No. S-2692



Bearings are referenced to the
Final Plat of Country Fields



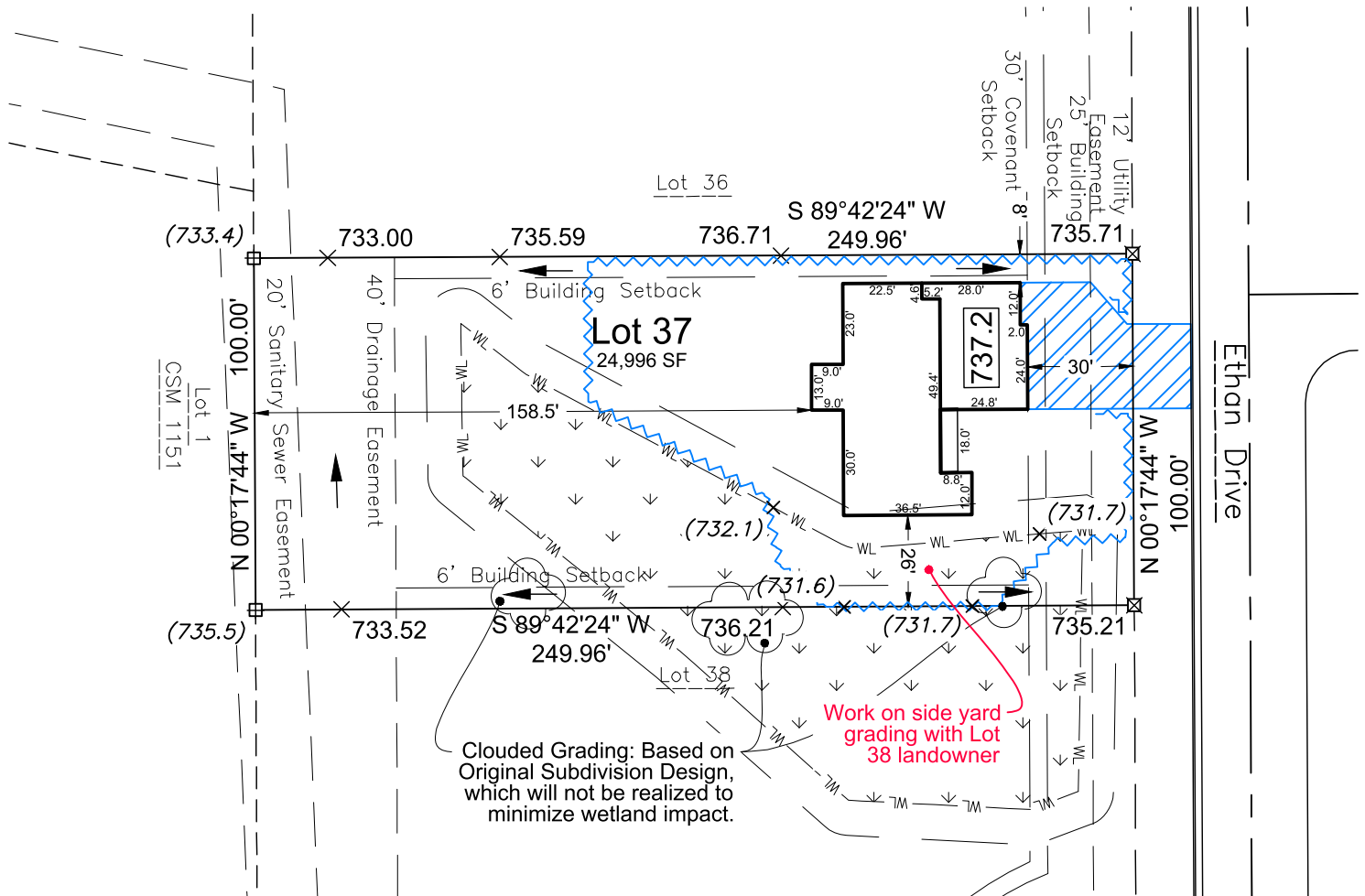
**DAVEL ENGINEERING &
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Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-441-0804
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Site Plan For:
Fox Cities Development, Inc.
N4079 Lena Ln
Freedom, WI 54130

File: 7009Lot35.dwg
Date: 06/20/2023
Drafted By: johnathon
Sheet: 1

Lot 37

Country Fields
Town of Freedom
Outagamie County, WI



*Top Foundation Wall
Elevation = 737.7

LEGEND

000.0	Grade at Foundation
x 000.00	Proposed Grade
+ (000.0)	Existing Grade
→	Direction of Drainage
~~~~~	BMP's for Erosion Control
□	Lot Corner
▨	Proposed Tracking Pad

## Notes:

The shown location of Best Management Practice (BMP) for erosion control based upon final drainage pattern. Additional BMPs shall be placed where necessary during construction, dependent on existing site conditions.

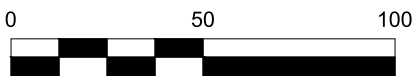
Dimensions are to the exterior foundation wall, not including the brick ledge.

## Setback Requirements

Front: 25'  
Rear: 25'  
Sides: 6'

James R. Sehloff  
Professional Land Surveyor No. S-2692

Date



Bearings are referenced to the  
Final Plat of Country Fields



**DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.**

Civil Engineers and Land Surveyors

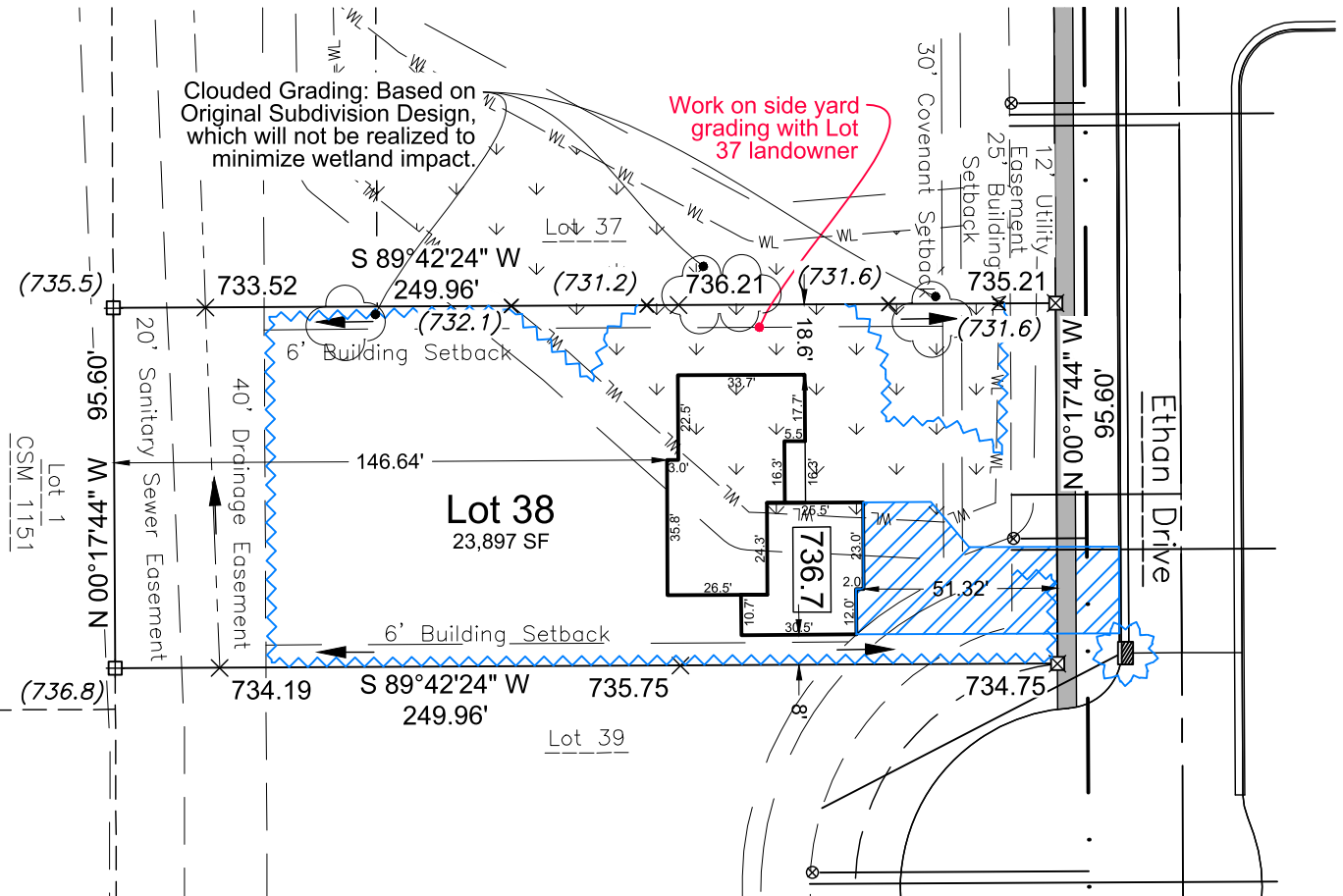
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-441-0804  
www.davel.pro

Site Plan For:  
Fox Cities Development, Inc.  
N4079 Lena Ln  
Freedom, WI 54130

File: 7009Lot37.dwg  
Date: 06/20/2023  
Drafted By: johnathon  
Sheet: 1

# Lot 38

Country Fields  
Town of Freedom  
Outagamie County, WI



*Top Foundation Wall  
Elevation = 737.2

## LEGEND

- 000.0 Grade at Foundation
- x 000.00 Proposed Grade
- + (000.0) Existing Grade
- Direction of Drainage
- ~~~~~ BMP's for Erosion Control
- Lot Corner
- Proposed Tracking Pad
- Proposed Inlet Protection

## Notes:

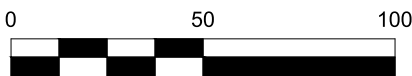
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Dimensions are to the exterior foundation wall, not including the brick ledge.

## Setback Requirements

Front: 25'  
Rear: 25'  
Sides: 6'

James R. Sehloff Date  
Professional Land Surveyor No. S-2692



Bearings are referenced to the  
Final Plat of Country Fields



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Site Plan For:  
Fox Cities Development, Inc.  
N4079 Lena Ln  
Freedom, WI 54130

File: 7009Lot38.dwg  
Date: 06/20/2023  
Drafted By: johnathon  
Sheet: 1



Site Visit Photos 10/17/2023



W-2a transformer at SE of AR (looked like it could be culvert on recent aerial)



W-2a Berm at NW of AR



W-2a Rock and plastic, maybe what looks like possible culvert on recent aerial



W-2a Berm at NW of AR, isolating from drainage leading north



W-2a no outlets confirmed



W-2b transformer at NE of AR (looked like it could be culvert on recent aerial)



W-2b no outlets confirmed



W-2b no outlets confirmed